

TRANSMITTAL LETTER / Table of Content

Date

UFPM

University of Florida

Planning Design & Construction

245 Gale Lemerand Drive

Gainesville, FL 32611

UF-xxx, Name of the project

Dear Mr. (UF PM),

We are pleased to provide you with this GMP for the UF-xxx/MP-xxxxx, name of the project, based on the site visits and the construction documents produced by XXX Architects.

The total GMP estimate for this project is Three Hundred Twenty-Five Thousand Two Hundred Thirteen Dollars and 74/100 cents (\$325,213.74). The construction project schedule will be 9-weeks. We have included a summary breakdown of the GMP separating the costs for various line items as required for the UF Authorization to Proceed.

Within the deliverables, we have included the following information:

- Overall GMP Summary , Alternates, VE List (if any)
- Bid package Summary Estimate
- Detailed Estimate
- Qualifications & Assumptions
- Document Log
- Milestone Schedule
- Site Logistics
- Other items as necessary

Please review and should you have any questions, please feel free contact me. Sincerely,

CM PM Name and Title

Cc:

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March 27, 2023

UFPM
245 Gale Lemerand Drive
Gainesville, FL 32611

**Re: UF MP00000 MBI Lab Equipment Replacement
Guaranteed Maximum Price Proposal – Revision 1**

Mr. PM:

ABC CM INC is pleased to present this Guaranteed Maximum Price proposal for the construction required to complete the renovations and new construction to the UF Health McKnight Brain Institute Lab Equipment Replacement as specified on the construction documents provided by DEF Architects dated March 5, 2023.

The Guaranteed Maximum Price for this project is:

Three Hundred Twenty-Five Thousand Two Hundred Thirteen Dollars\$325,213.74
and 74/100

The construction schedule for project completion will be 9-weeks.

Please find the attached GMP overview, GMP breakdown, Qualifications, Schedule, Construction Management Team, and List of Construction Documents that are included as part of this Guaranteed Maximum Price proposal.

We appreciate the opportunity to be a part of this project, and we look forward to its successful completion. Please feel free to contact me at any time if you have any questions.

Sincerely,
ABC CM INC

Mr. ABC
President

UF Health McKnight Brain Institute Lab Equipment Replacement MP# 00000

Guaranteed Maximum Price – Revision 1

March 27, 2023

Exhibit A – GMP Overview

UF MP00000 MBI Lab Equipment Replacement ABC CM INC Overview				
Bid Package	Package Description	Conceptual Budget Estimate	100% Documents GMP	(Over)/ Under
BP 2A	Demolition	\$ 16,618	\$ 9,500	\$ 7,118
BP 3A	Concrete	\$ 9,248	\$ -	\$ 9,248
BP 4A	Masonry	\$ 36,200	\$ 16,800	\$ 19,400
BP 5B	Misc Metals	\$ 5,000	\$ -	\$ 5,000
BP 6B	General Trades	\$ 4,918	\$ 11,200	\$ (6,282)
BP 6D	Architectural Casework	\$ 15,360	\$ 4,000	\$ 11,360
BP 7A	Damproofing and Waterproofing	\$ 2,950	\$ 1,000	\$ 1,950
BP 7B	Thermal Insulation	\$ 2,000	\$ 1,000	\$ 1,000
BP 7C	Roofing	\$ -	\$ 2,500	\$ (2,500)
BP 9A	Gypsum Board Assemblies	\$ 13,000	\$ 3,000	\$ 10,000
BP 9C	Acoustical Ceilings	\$ 7,347	\$ 5,847	\$ 1,500
BP 9D	Painting	\$ 3,860	\$ 3,700	\$ 160
BP 9E	Flooring	\$ 7,997	\$ 8,488	\$ (491)
BP 13A	Special Construction	\$ 43,600	\$ 82,766	\$ (39,166)
BP 21A	Fire Protection	\$ 3,500	\$ 3,600	\$ (100)
BP 22A	Plumbing	\$ 2,500	\$ -	\$ 2,500
BP 23A	HVAC	\$ 9,900	\$ 42,607	\$ (32,707)
BP 26A	Electrical	\$ 10,000	\$ 37,300	\$ (27,300)
BP 27A	Data, Audio, and Video	\$ 1,250	\$ -	\$ 1,250
BP 31A	Sitework	\$ 5,000	\$ 3,000	\$ 2,000
BP 32B	Planting and Landscaping	\$ 1,495	\$ 750	\$ 745
Total of Bid Packages		\$ 201,743	\$ 237,058	\$ (35,315)
Contingency		\$ 20,174.30	\$ 7,111.74	\$ 13,062.56
Staffing Costs		\$ 33,361	\$ 41,294	\$ (7,933)
General Conditions (LS)		\$ 3,314	\$ 3,552	\$ (238)
General Conditions (Actual Expenditures)		\$ 340	\$ 440	\$ (100)
Total of Project Costs		\$ 258,932.30	\$ 289,455.74	\$ (35,330)
CM Fee		\$ 20,618	\$ 22,903	\$ (2,285)
Subtotal		\$ 279,550.30	\$ 312,358.74	\$ (32,835.44)
Builders Risk Insurance		\$ 1,236	\$ 1,372	\$ (136)
Payment/Performance Bond		\$ 3,800	\$ 4,173	\$ (373)
General Liability Insurance		\$ 3,000	\$ 3,311	\$ (311)
PreCon Fee		\$ 1,546	\$ 1,718	\$ (172)
Permit		\$ 2,100	\$ 2,281	\$ (181)
Total Amount		\$ 291,232.30	\$ 325,213.74	\$ (33,981.44)

Exhibit B – GMP Breakdown

BP-07A Damproofing and Waterproofing						
Waterproofing Package	1 ls	-	-	1,000	1,000	
Waterproofing Package						1,000
BP-07B Thermal Insulation						
Insulation Package	1 ls	-	-	1,000	1,000	
Insulation Package						1,000
BP-07C Roofing						
Roofing Package	1 allowance	-	-	2,500	2,500	
Roofing Tie-in Allowance						
Helium Exhaust Drip-Pan						2,500
BP-09A Drywall & Framing						
Drywall & Framing Package	1 ls	-	-	1,500	1,500	
Patch wall for magnet access						
Temporary partition at opening						
Patch/repair existing drywall		-	-	500	500	
In-Wall Backing for S6 & S7		-	-	1,000	1,000	
						3,000
BP-09C Acoustical Ceiling						
Acoustical Ceiling Package	1 ls	-	-	5,447	5,447	
Acoustical ceiling tile and grid at MRI Room						
Acoustical ceiling tile and grid at Control, Ante Rooms						
Batt insulation at ceilings						
Acoustical wall panels demo and reinstall		-	-	400	400	
						5,847
BP-09D Painting and Wallcovering						
Painting Package	1 ls	-	-	3,700	3,700	
Paint all walls						
						3,700
BP-09E Flooring						
Flooring Package	1 ls	-	-	8,488	8,488	
LVT Flooring in Exhibit, waiting, changing, Office Rooms						
LVT Flooring in Control, and NMR Room Rooms						
VCT Flooring in Equipment Room						
						8,488
BP-13A Special Construction						
Special Construction Package	1 ls	-	-	67,835	67,835	
RF Shield pre-test						
Remove/Replace/Repair Portion of RF Shielding for Magnet Access, MEPF Modifications & Connections						
Post Testing						
New RF Door		-	-	14,931	14,931	
						82,766
BP-21A Fire Protection						
Fire Protection Package	1 ls	-	-	3,600	3,600	
Relocate Sprinkler Heads						
						3,600

Exhibit B – GMP Breakdown

BP-23A HVAC						
HVAC Package	1 ls	-	-	42,607	42,607	
Minor Modifications to HVAC Systems						
CHW Piping Modifications						
Helium Exhaust Modifications						
Pre & Post-test and Balance						42,607
BP-26A Electrical						
Electrical Package	1 ls	-	-	36,550	36,550	
20V/20V Dedicated Duplex Outlet for Equipment						
Circuit Breaker for MRI System						
120V/20V Dedicated Duplex Outlet for EA						
New RF Door Electrical Rough-in		-	-	750	750	37,300
BP-31A Sitework						
Sitework Package	1 allowance	-	-	3,000	3,000	
Sidewalk Repair Allowance						3,000
BP-32B Planting and Landscaping						
Planting & Landscaping Package	1 allowance	-	-	750	750	
Irrigation or Landscaping Repair Allowance		-	-	-	-	750
Cost of Work Subtotal				237,058	237,058	
Construction Contingency	3.00%				7,111.74	
Staffing from above					41,294	
General Conditions from above					3,992	
Subtotal				52,397.74	289,455.74	
CM Fee	7.80%				22,903	
Subtotal				22,903	312,358.74	
Builders Risk Insurance					1,372	
Payment and Performance Bond					4,173	
General Liability Insurance	0.98%				3,311	
Permit					2,281	
PreCon Fees					1,718	
Subtotal				12,855	325,213.74	
Total Project					325,213.74	

Exhibit C – GMP Qualifications

This GMP includes the infrastructure and finish modifications required to complete the renovations of the UF Health McKnight Brain Institute Lab Equipment Replacement.

This GMP is based on the 100% Construction Drawings and Project Requirements Specifications produced by DEF Architecture & Consulting dated March 27, 2023, site meetings and discussions, and the qualifications below.

Due to current market conditions, this proposal must be accepted within 30 days and construction must begin within 60 days from the date of this submittal.

Division 01- General Conditions

- The estimated project construction duration will be nine (9) weeks.
- Work will be accomplished during normal work hours. This will include various activities which will cause loud noises.
- A Builder's Risk Insurance and a General Liability Insurance policy has been included in this proposal.
- A Payment and Performance Bond has been included in this proposal.
- We have included costs for permit fees. We have not included costs for impact fees.
- Provisions for temporary power/water are not included in this proposal. It is assumed that we will have some form of available power and water from the building for the duration of the project.
- Temporary protection for existing finishes is included as required.
- No provisions for a temporary job site office trailer are included.
- All required temporary enclosures, storage facilities, dumpsters, toilets, signage, etc. have been included as a part of the project.
- Hazardous materials removal or mitigation is not included in this price or schedule.
- Relocation or repair of existing M/E/P/FP Systems to accommodate new systems not specifically presented on the project scope of work is excluded. We are not responsible for the existing building systems.
- Moving or relocation of existing furniture, fixtures, and equipment is not included.
- Costs are not included for floor moisture mitigation.
- Costs are not included for material testing and inspections.
- A Construction Contingency of 3% is included to cover estimating variances, and unexpected events in the construction process and schedule. The estimate does not include separate owner or design contingencies.
- We have included safety supplies and infection control measures in response to the COVID-19 pandemic.

Division 02- Existing Conditions

- We have included the removal of the exterior wall assembly to create an opening to allow access for the replacement of the Lab Equipment Replacement equipment. This includes brick veneer, concrete block, RF shielding, framing, and gypsum wallboard.
- We have included demolition of the flooring in the NM, Control, Vestibule, and Equipment rooms.

Exhibit C – GMP Qualifications

- We have included the demolition of the ceilings in the NMR, Control, and Vestibule rooms.

Division 04- Masonry

- We have included the repair of the masonry wall with concrete block, brick veneer, and glazed block to match exterior.

Division 06- Casework

- Includes the uninstall and reinstall of the PALM countertops for the control room console desk.
- Includes new PALM wall cabinets in MRI room.
- We have included seventy-five feet (75ft) of “Bluewater Safety Rail 2000” roof guard rail

Division 07- Roofing

- We have included the damproofing and sealants at the masonry wall.
- We have included the thermal insulation at the masonry wall.
- We have included a \$2,500 allowance for roof repairs required for the installation of the helium exhaust vent opening and roof curb

Division 09- Finishes

- Includes all drywall necessary to patch the wall from the magnet access.
- Includes acoustical ceiling tiles and frames throughout the NMR, Control, Changing, and vestibule rooms.
- We have included all painting per the direction of the construction documents.
- Includes all flooring and rubber base for the NMR, Control, Office, Equipment, Changing, Waiting, and Exhibit rooms.

Division 13- Special Construction

- We have included the removal of the magnet access panels to facilitate magnet removal and delivery.
- We have included the following items required by Philips, cryogen waveguide shield penetration, patient vent waveguide shield penetration, gradient air exhaust waveguide penetration, cable duct and cover, brass chiller plate penetration, aluminum magnet foot plates, and modifying penetration panel for new Philips interface.
- We have included final RF verification test of the completed installation to confirm RF shield performs equal to or better than the initial RF diagnostics test.
- We have included providing and installing new RF Door.
- We have included the alternate of \$14,931 to add new RF door.
- We have **excluded** any additional steel magnetic shielding

Division 21- Fire Suppression and Protection

- We have included the relocation and modifications to sprinkler heads as necessary to accommodate new equipment.

Exhibit C – GMP Qualifications

Division 23 – HVAC

- We have included capping the duct systems during construction to prevent the collection of dust in the mechanical system.
- We have included the aluminum air distribution for supply and exhaust grilles.
- We have included the galvanized 8” exhaust duct outside RF shielding. This is to be connected to with a flexible hose by Philips.
- We have included the installation of the liquid cooling cabinet and CHW piping modifications per Philips drawings.
- We have included a new helium exhaust to serve the new MRI system.

Division 26- Electrical

- We have included a 20V/20A dedicated duplex outlet for service in the equipment room and control room.
- We have included a new circuit breaker for MRI system.
- We have included a 120V/20A dedicated duplex outlet for "EA". Per Philips drawings.

Division 27- Data and Telecommunications

- We have **excluded** all modifications to low voltage systems. This will be performed by the owner.

Division 31- Earthwork

- We have included a \$3,000 dollar allowance to protect the existing underground utilities.

Division 32- Exterior Improvements

- We have included a \$750 dollar allowance for any potential irrigation or landscaping repairs.

Exhibit D – GMP Schedule

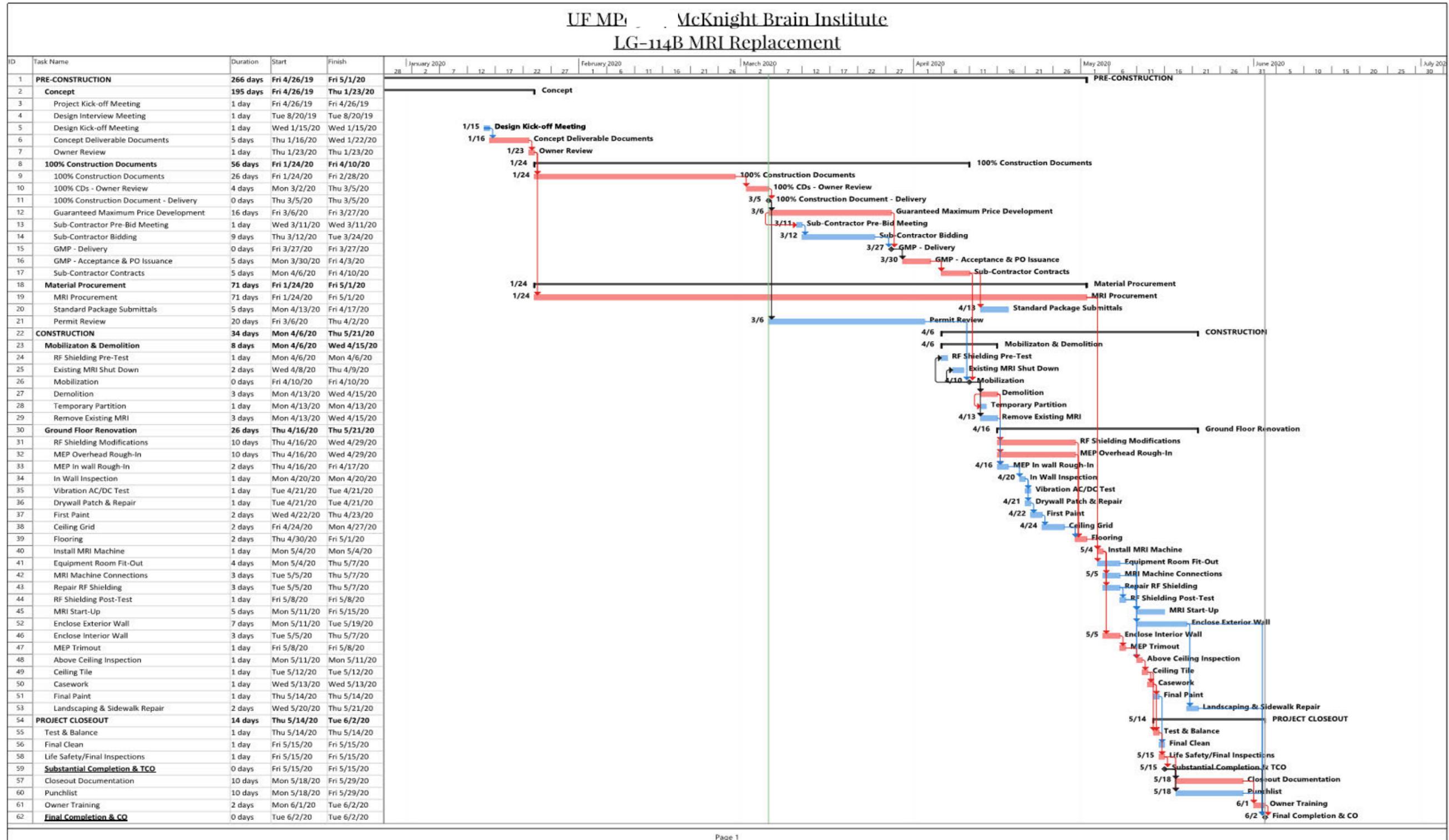


Exhibit E – Construction Management Team

NAME	TITLE
PM 01	Project Manager
SUPER 01	Superintendent
PM 02	Assistant Project Manager

Exhibit F - 100% Construction Documents

SHEET #	NAME	DATE
G000	Cover	03/05/2023
G001	General Notes, Symbol Legend and Abbreviations	03/05/2023
G010	Code Compliance	03/05/2023
G101	Level 1 Life Safety Plan	03/05/2023
AD101	Ground Level Demolition Plan	03/05/2023
AD131	Ground Level Reflected Ceiling Demolition Plan	03/05/2023
AD140	Roof Demolition Plan	03/05/2023
A101	Ground Level Floor Plan	03/05/2023
A131	Ground Level Reflected Ceiling Plan	03/05/2023
A140	Roof Plan	03/05/2023
A220	Wall Sections and Roof Details	03/05/2023
A400	Partition Types	03/05/2023
A430	Interior Casework Elevation and Details	03/05/2023
S001	Design Criteria & General Notes	03/05/2023
S101	Ground Floor Partial Plan and Details	03/05/2023
M-001	Mechanical Symbols, Abbreviations and Basis Of Design	03/05/2023
M-101	Mechanical Demolition Plan	03/05/2023
M-102	Mechanical Renovation Plan	03/05/2023
FP-001	Legend, Symbols, Abbreviations, Details, and Basis of Design	03/05/2023
FP-101	Fire Protection Demolition Plan	03/05/2023
FP-102	Fire Protection Renovation Plan	03/05/2023
E-001	Electrical Symbols, Abbreviations, Luninaire Schedule and Partial Riser Diagram	03/05/2023
E-002	BOD	03/05/2023
E-101	Lighting Demolition Floor Plan	03/05/2023
E-102	Lighting Renovations Floor Plan	03/05/2023
E-201	Power/Systems Demolition Plan	03/05/2023
E-202	Power/Systems Renovation Floor Plan	03/05/2023

Exhibit F - 100% Construction Documents

SECTION #	NAME	DATE
00 0107	Seals Page	03/05/2023
00 0110	Table of Contents	03/05/2023
01 1000	Summary	03/05/2023
01 2000	Price and Payment Procedures	03/05/2023
01 2100	Allowances	03/05/2023
01 2500	Substitution Procedures	03/05/2023
01 3000	Administrative Requirements	03/05/2023
01 3216	Construction Progress Schedule	03/05/2023
01 4000	Quality Requirements	03/05/2023
01 4216	Definitions	03/05/2023
01 4219	Reference Standards	03/05/2023
01 5000	Temporary Facilities and Controls	03/05/2023
01 6000	Product Requirements	03/05/2023
01 6116	Volatile Organic Compound (VOC) Content Restrictions	03/05/2023
01 7000	Execution and Closeout Requirements	03/05/2023
01 7419	Construction Waste Management and Disposal	03/05/2023
01 7800	Closeout Submittals	03/05/2023
01 7900	Demonstration and Training	03/05/2023
02 4100	Demolition	03/05/2023
04 2000	Unit Masonry	03/05/2023
06 1000	Rough Carpentry	03/05/2023
06 4100	Architectural Wood Casework	03/05/2023
07 1113	Bituminous Dampproofing	03/05/2023
07 2100	Thermal Insulation	03/05/2023
07 2500	Weather Barriers	03/05/2023
07 5100	Built-Up Bituminous Roofing	03/05/2023
07 5200	Modified Bituminous Membrane Roofing	03/05/2023
07 6200	Sheet Metal Flashing and Trim	03/05/2023
07 7200	Roof Accessories	03/05/2023
07 8400	Firestopping	03/05/2023
07 9200	Joint Sealants	03/05/2023

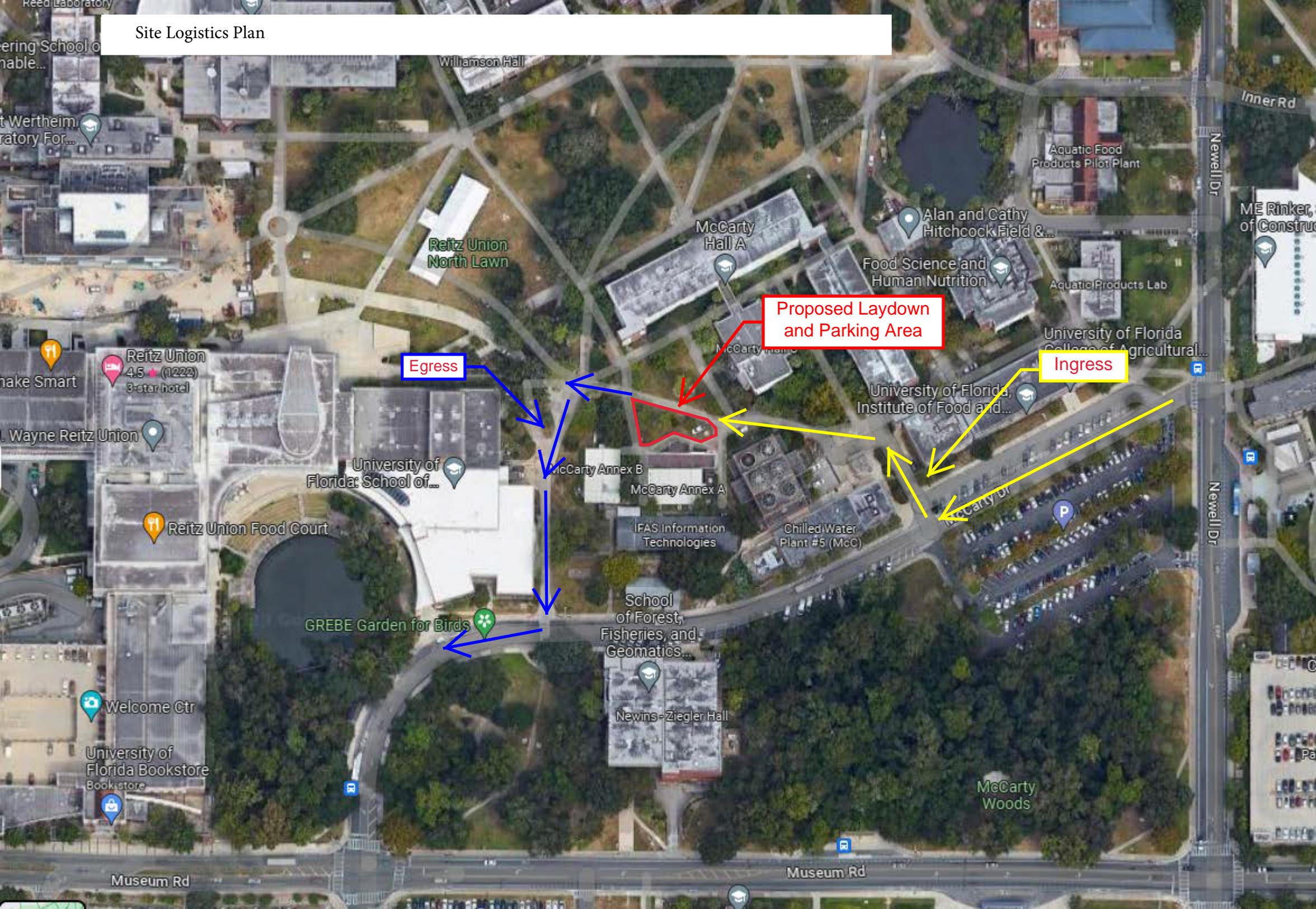
Exhibit F - 100% Construction Documents

SECTION #	NAME	DATE
09 2116	Gypsum Board Assemblies	03/05/2023
09 2216	Non-Structural Metal Framing	03/05/2023
09 3000	Tiling	03/05/2023
09 5100	Acoustical Ceilings	03/05/2023
09 6500	Resilient Flooring	03/05/2023
09 9123	Interior Painting	03/05/2023
20 0000	General Mechanical Requirements	03/05/2023
20 0529	General Mechanical Supporting Devices	03/05/2023
20 0553	Mechanical Systems Identification	03/05/2023
20 0700	Mechanical Systems Insulation	03/05/2023
21 1314	Automatic Fire Sprinkler System	03/05/2023
23 0594	Water Systems Test Adjust Balance	03/05/2023
23 0595	Air Systems Test Adjust Balance	03/05/2023
23 0901	Control Systems	03/05/2023
23 2116	Pipe and Pipe Fittings	03/05/2023
23 2118	Valves	03/05/2023
23 2120	Piping Specialties	03/05/2023
23 3114	Ductwork	03/05/2023
23 3314	Ductwork Specialties	03/05/2023
23 3713	Diffusers, Registers, and Grilles	03/05/2023
26 0000	General Electrical Requirements	03/05/2023
26 0516	Owner-Furnished Equipment	03/05/2023
26 0519	Low-Voltage Electrical Power Conductors and Cables	03/05/2023
26 0526	Grounding and Bonding for Electrical Systems	03/05/2023
26 0529	Hangers and Supports for Electrical Systems	03/05/2023
26 0533	Raceways and Boxes for Electrical Systems	03/05/2023
26 0553	Electrical Systems Identification	03/05/2023
26 0593	Electrical System Firestopping	03/05/2023
26 0923	Lighting Control Devices	03/05/2023
26 2818	Enclosed Switches and Circuit Breakers	03/05/2023
26 5000	Lighting	03/05/2023

Exhibit F - 100% Construction Documents

SHEET #	NAME	DATE
C1	Cover	2/05/2023
AN	General Notes	2/05/2023
AL	Equipment Legend	2/05/2023
A1	Site Layout	2/05/2023
A2	Equipment Layout	2/05/2023
AD1	Magnetic Field Plot	2/05/2023
AD2	Magnetic Rigging Details	2/05/2023
AD3	Equipment Details	2/05/2023
AD4	Equipment Details	2/05/2023
AD5	Equipment Details	2/05/2023
SN1	Support Notes	2/05/2023
SN2	Support Notes	2/05/2023
SN3	Support Notes	2/05/2023
SN4	Support Notes	2/05/2023
SL	Support Legend	2/05/2023
S1	Support Layout	2/05/2023
S2	Support Layout	2/05/2023
SD1	Support Details	2/05/2023
SD2	Support Details	2/05/2023
SD3	Support Details	2/05/2023
SD4	Support Details	2/05/2023
SD5	Shielding Details	2/05/2023
SD6	Shielding Details	2/05/2023
SD7	Shielding Details	2/05/2023
SD8	Shielding Details	2/05/2023
SD9	Shielding Details	2/05/2023
SD10	Shielding Details	2/05/2023
EN	Electrical Notes	2/05/2023
EL1	Electrical Legend	2/05/2023
EL2	Electrical Legend	2/05/2023
E1	Electrical Layout	2/05/2023
E2	Conduit List	2/05/2023
ED1	Electrical Details	2/05/2023
ED2	Electrical Details	2/05/2023

Site Logistics Plan



Proposed Laydown and Parking Area

Egress

Ingress

Williamson Hall

Reitz Union North Lawn

McCarty Hall A

Aquatic Food Products Pilot Plant

Alan and Cathy Hitchcock Field &...

Food Science and Human Nutrition

Aquatic Products Lab

University of Florida College of Agricultural...

University of Florida Institute of Food and...

University of Florida School of...

McCarty Annex B

McCarty Annex A

IFAS Information Technologies

Chilled Water Plant #5 (McC)

GREBE Garden for Birds

School of Forest, Fisheries, and Geomatics...

Newins-Ziegler Hall

McCarty Woods

Inner Rd

Newell Dr

ME Rinker, of Construct...

ing School of nable...

t Wertheim ratory For...

ake Smart

Reitz Union 4.5 (1222) 3-star hotel

Wayne Reitz Union

Reitz Union Food Court

Welcome Ctr

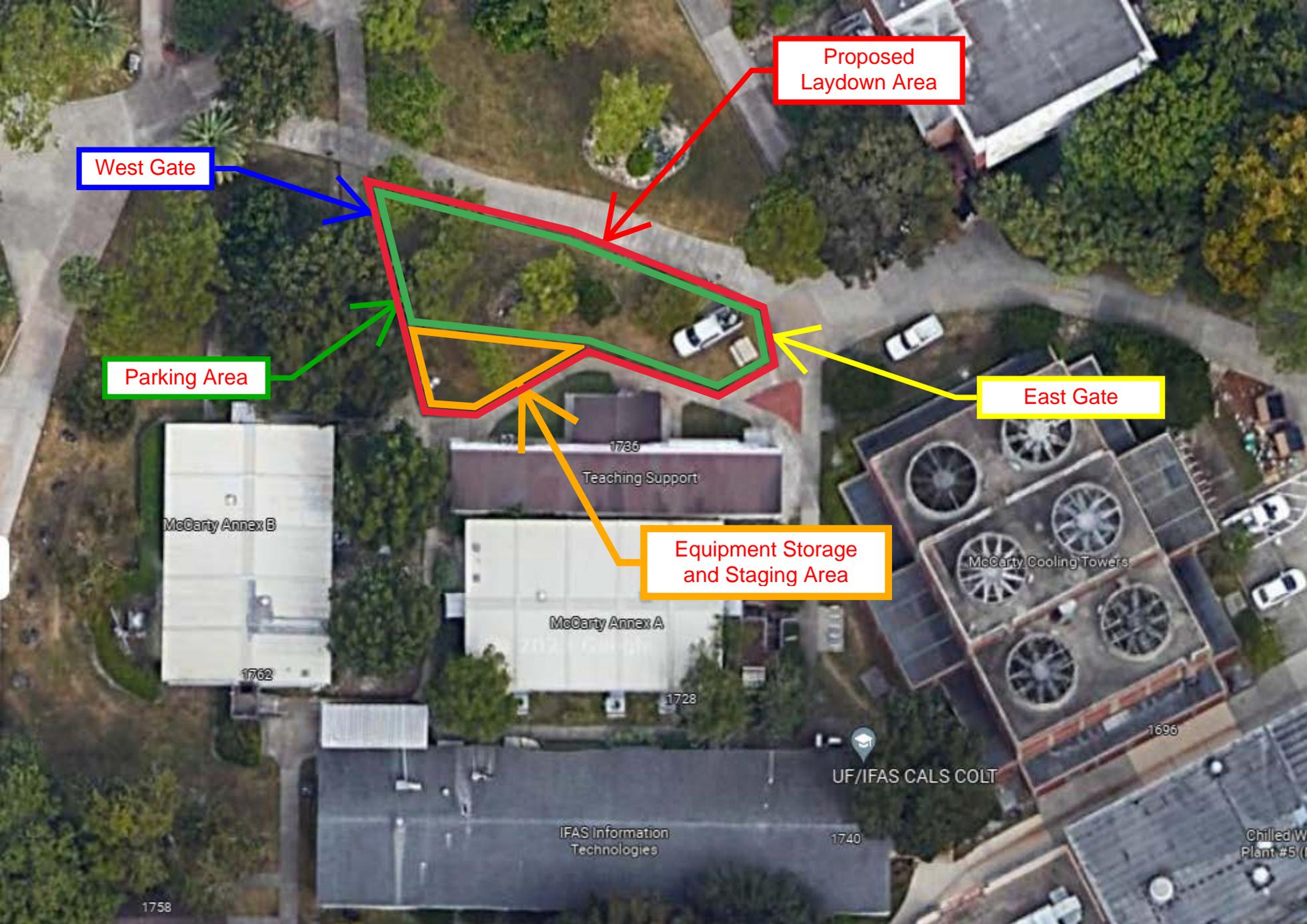
University of Florida Bookstore Book store

Museum Rd

Museum Rd

Newell Dr

McCart...



***Note: Laydown area to be contained by 6 foot tall fence with gate to the West and East sides. Tree protection and job site signage will be installed where necessary per UF guidelines.**