

Phi Mu Sidewalk

Land Use and Facilities Planning Committee

October 1st, 2019

LAND USE AND FACILITIES PLANNING COMMITTEE MINUTES

March 06, 2018

Planning, Design & Construction
Conference Room 235 Stadium

ATTENDEES:

MEMBERS PRESENT:

James Austin, Associate Professor, Wildlife Ecology
Paul Davenport, Physiological Sciences
John Diaz, Assistant Professor, Agricultural Education and Communication
Norb Dunkel, Student Affairs
Megan Forbes, Chair, English Language Institute
Scott Fox, Transportation & Parking
Kevin Heinicka, IFAS Facilities Planning & Operations
Mark Helms, AVP, Facility Services Division
Craig Hill, VP's Office – Business Affairs
Christopher Martyniuk, Physiological Sciences
Jacqueline Miller, Florida Natural History Museum
Kenneth Osfield, ADA
William (Bill) Smith, Assistant Director, Operations, University Athletics Association
Wendy Thomas, Director, Department of Doing, City of Gainesville
Bradley Walters, Associate Professor, School of Architecture
Matt Williams, Director, Office of Sustainability
Samantha Wisely, Associate Professor, Wildlife Ecology
Timothy Young, Sr. Associate, Academic Advising Center
Linda Dixon, Planning, Design & Construction

MEMBERS ABSENT:

Todd Brusko, Pathology, Immunology and Laboratory Medicine
Brandon Della-Bella, Student
Carlos Dougnac, AVP, Planning, Design & Construction
Alyson Flournoy, Professor, College of Law
Jon Graham, Assistant Professor, Radiation Oncology
Gail Hansen De Chapmen, Chair, Lakes, Vegetation & Landscaping Committee
Noah Harden, Student
Carrie Harmon, Sr. Associate, Plant Pathology
Jennifer Hubbs, Research Program Development
Marty Hylton, Chair of PHB&S, Libraries
Steve Lachnicht, Rep-Alachua County
Anthony Lyons, Director of Planning and Development, City of Gainesville
Christopher Martinez, Agricultural and Biologic at Engineering
Carol McAuliffe, LB-Documents Department
Janae Moodie, Student
Katherine Sayler, Research Assistant Professor, Wildlife Ecology and Conservation
James Sullivan, Design Construction & Planning - Building Construction
Ray Thomas, Chair, Parking and Transportation Committee
Jay Watkins, University Bands, School of Music

VISITORS:

David Lyons, Planning, Design & Construction
James Batts, BBI Construction
Jason O'Brian, Project Manager for Phi Mu Sorority Addition
Joe Walker, Walker Architects and Associates
Melissa Thomas, Planning, Design & Construction

MP03994 – 416 – Phi Mu Sorority Addition

PRESENTING: Jason O'Brian

DISCUSSION:

Jason introduced himself and stated he was here today for approval of the Phi Mu Sorority Addition project. He stated there will be a 2000 square feet interior renovation and a total of 8000 square feet of condition space added to the existing building.

It was presented to LVL and they approved the project with new grading, planting and new sod along with the condition that the project team coordinate with Grounds to have the Sabal palm relocated. Others will be handled through mitigation.

He stated there will be an addition on the first floor they will be creating a new entry walkway along with a front sidewalk leading down to the main sidewalk on Panhellenic drive. The committee asked if you could put more parking there and Jason stated there is a 9' incline from the road to the porch. It is almost impossible to put parking on that incline. The open two story porch in the front will be taken out and a new porch and foyer with a staircase to the second floor will be constructed. The project is also creating a new library and extending their multipurpose room and need more area to accommodate the number of students. The second floor will add a total of 16 bedrooms into the building which will add 32 addition beds to the house. There will be a new laundry room, upgrade the restrooms and showers as well to accommodate the demand. On the third floor the project will create a third floor access to the stairs and create a new roof over the new front porch and some dormers. There will be an added roof over the side deck that was built in 2012 for the student's courtyard area.

The back entrance will remain by the parking because it was requested by the students to enter the house in the same manor. The committee was concerned about the alley area because the students use it as a walkway and there are no sidewalks. The committee requested that a sidewalk be added to SW 9th Avenue since it would be required by City land development regulations. Jason stated it is shown here to be an alternate. The cost is estimated at approximately 40,000-50,000 dollars to add the sidewalk along the SW 9th Avenue frontage because of grade and utility issues. He stated this will also require the water meter to be relocated and the current dumpster pad to be demolished and a new dumpster pad to be installed by the back corner of the house. Wendy Thomas, from the City, stated that new GRU standards likely will not require the water meter to be relocated for a sidewalk. Ken Osfield stated that the house is required to provide an ADA-compliant path to the nearest bus stop. There was discussion about whether pedestrians could cross to the other side of SW 9th Avenue to access a sidewalk. Jason acknowledged that the sorority house project immediately to the west will complete the sidewalk across their adjacent frontage. The contractor and architect reported that the owners do not want to have this sidewalk be required for project approval. Jason requested that the sidewalk be completed as a secondary project so that there would be time to identify funding. There was discussion about how to ensure the sidewalk is constructed concurrent with the project, but also allow additional time for fundraising.

ACTION:

Tim Young made a motion to approve the project with a requirement that a sidewalk be implemented consistent with City standards along the SW 9th Avenue frontage before the certificate of occupancy can be issued. Paul Davenport seconded the motion. The motion passed.

OTHER BUSINESS:

The next scheduled meeting is scheduled for April 03, 2018.

ADJOURNMENT:

There being no further business to discuss, the meeting was adjourned at 3:15pm.

March 13, 2018

**Gainesville Community Redevelopment Agency
Gainesville, Florida**

Reference: Phi Mu Additions and Renovations

Ms. Leonard:

This is the project that I spoke to you about on the telephone on Thursday, March 8, 2018. We are beginning the process of building a new addition and renovation to the existing sorority listed above at 1184 East Panhellenic Drive. We are currently in the design phase and going thru the committee meetings with the University of Florida. At our last Land Use Committee meeting it was determined that we would need to build a new walk and retaining wall along the north right of way of SW 9th Ave., at this meeting Linda Dixon from UF and Wendy Thomas from the City of Gainesville stated that they would also require a walk along the right of way to eliminate the gaps in the walk system.

SW 9th Avenue is a one-way street in the easterly direction and the vehicular traffic in this area is to the parking areas for the sororities that are located further down the street. We are suggesting that while we are on site at this project building a walk, that the city would participate in the construction of our walk and extend the walk to the east to serve the persons that are accessing the parking area further east on SW 9th Avenue.

The area that I am referring to is a retention basin and is a park like setting, I feel that addition of the walk would enhance the area and provide a safe means of ingress and egress to that area and, at the same time eliminate the gaps in the sidewalk system as requested.

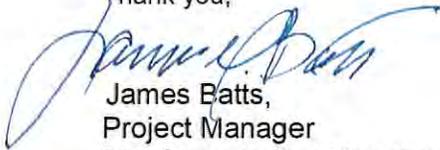
I have attached five small drawings that describe more clearly the items that I have discussed in the previous paragraphs:

1. Shows the sidewalk and wall location that we are being required to build as part of our project, as you can see from the photo the cars that are parked further east of our project with a suggested area for a cross walk.
2. Shows the location of the sidewalk and a large oak tree that will have to be removed for the walk on our project.
3. Shows a conceptual location for a proposed walk to eliminate the gaps in the walk system in this area, that Wendy Thomas suggested we eliminate.

4. Shows the area where there are walks and no walks, our project and a suggested walk so that our walk becomes useful to all the people that use the sidewalk system in this area.
5. Is a map that shows the location of our project and the suggested walk for the city.

We would be happy to construct this walk for the City of Gainesville as we will be in the area already and could offer a very competitive price. We would like the CRA and the City of Gainesville to participate in our project both from a financial aspect and planning for this area. I would be happy to meet with you at your convenience to review the area that I have discussed.

Thank you,



James Batts,
Project Manager
BBI Construction Management, Inc.
battsj@bbi-cm.com
Phone # (352)-338-2073 ext. 113
Fax # (352)-371-4784 Cell # (352)-514-9469

Your application must include all of the following:

1. Proof of building ownership or letter of consent from the owner. Copies of deeds and county tax records will be accepted as proof.
2. Photograph of the existing building showing exterior conditions.
3. Sketches and/or elevations of proposed improvements, including colors.
4. Description of materials to be used.
5. Two cost estimates from two different sources. Scopes of service from each contractor must be identical.
6. Copy of selected contractor's general liability insurance certificate and contractor's license.

Return complete application by mail or in person to:
Gainesville Community Redevelopment Agency
ATTN: CPUH Facade Grant Program
802 NW 5th Ave Suite 200
Gainesville, FL 32601

FOR CRA USE ONLY: DO NOT WRITE IN THIS SECTION

Date & Time Complete Application Received: 12PM 1/29/2019

Advisory Board Review Date: 2/6/2019

Received by (print name): Andrew Meeker

Proof of ownership attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Photographs attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Description of materials attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Sketches and/or elevations attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Contractor estimates attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Contractor insurance attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Copy of business license attached?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Approved by Advisory Board	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

If no, state reason for denial: The College Park/University Heights

Advisory Board unanimously denied the Phi Mu Facade Grant application based on members questioning if the project addresses the fundamental purpose of the CRA mission of eradicating Slum and Blight. They also were of the opinion that although the application demonstrated that Phi Mu is a non-profit, the intent of the non-profit multifamily category of the Facade Grant program was not intended to be utilized by fraternities and sororities.

Dan Hunting

From: Dixon,Linda B <ldixon@UFL.EDU>
Sent: Tuesday, July 23, 2019 10:39 AM
To: Dan Hunting
Cc: Joe Burns; jobrian@walker-arch.com; Chris Trowell; Humbert,Mark; Lewis,Erik T
Subject: RE: Phi Mu Sidewalk and Utility Conflict

Dan,
I have exhausted my search for a funding partner with the City to construct this sidewalk. I discussed w/ VP Reynolds and he still feels the sidewalk condition is valid and consistent with what the City would have required through their development review process. He is willing to consider decoupling the sidewalk requirement from the CO in order to gain more time but asks that you seek approval from the Land Use & Facilities Planning Committee since that is where the requirement originated. Their next meeting is August 6th at 2:00 PM. The Sorority may also want to reach out to Student Affairs/Greek Affairs to see if there is any funding support that may come from them.

-Linda

Linda B. Dixon, AICP
Director of Planning
Planning, Design & Construction Division
and
Director of Operations & Administration
UF Historic St. Augustine

University of Florida
245 Gale Lemerand Drive
P. O. Box 115050
Gainesville, FL 32611-5050

352/273-4010 phone
352/273-4034 fax

From: Dan Hunting <d.hunting@bbi-cm.com>
Sent: Tuesday, July 16, 2019 11:23 AM
To: Dixon,Linda B <ldixon@UFL.EDU>
Cc: Joe Burns <Joe@bbi-cm.com>; jobrian@walker-arch.com; Chris Trowell <c.trowell@bbi-cm.com>; Humbert,Mark <mhumbert@ufl.edu>
Subject: RE: Phi Mu Sidewalk and Utility Conflict

Linda,

Just wanted to follow up on this and see if we've heard anything? We're quickly sneaking up on our project end date and would like to get this figured out here soon.

Thanks!

Dan Hunting

Project Manager

BBI Construction Management, Inc.

4639 NW 53rd Ave | Gainesville, FL 32653

V: 352.338.2073 x121 | F: 352.371.4784 | C: 319.310.2557

GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY CHW PROFESSIONAL CONSULTANTS.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE ONE CALL" 48 HOURS PRIOR TO ANY CLEARING OR CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. INSTALL TREE BARRICADES AND EROSION CONTROL PRIOR TO SITE DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE TREE BARRICADES AND EROSION CONTROL IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT TREE BARRICADES AND EROSION CONTROL SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
12. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE CITY INSPECTOR AND/OR ENGINEER. DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN IN THESE AREAS.
13. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION.
14. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
15. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
16. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
17. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CITY STANDARDS.
18. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTOR'S EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
19. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITY'S ACT.
20. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD AND THE CITY INSPECTOR SHALL MEET PRIOR TO INITIATION OF SITE CONSTRUCTION.
21. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE OWNER'S REPRESENTATIVE TO BEGINNING WORK.
22. ANY CONSTRUCTION IN THE CITY OF GAINESVILLE PUBLIC ROW WILL REQUIRE PERMITS FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK. A MOT PERMIT IS REQUIRED FOR ANY ACTIVITY IN THE ROW THAT EITHER DIRECTLY OR INDIRECTLY AFFECTS VEHICULAR OR PEDESTRIAN TRAFFIC.
23. ALL WORK WITHIN THE CITY RIGHT-OF-WAY (ROW), SHALL COMPLY WITH THE FOLLOWING:
 - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
 - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND THE CONTRACTOR/DEVELOPER SHALL FURNISH THE DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
 - C. THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE ROW TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORNE BY THE DEVELOPER.
 - D. ELECTRONIC COPIES OF ALL REPORTS, CALCULATIONS, AND PLANS SHALL BE PROVIDED TO THE PUBLIC WORKS DEPARTMENT IN .PDF FORMAT FOR ALL REQUESTED REVIEWS.
24. THE CONTRACTOR SHALL PROTECT THE PUBLIC FROM DROPOFF AND ABOVE GROUND HAZARDS WITHIN PROJECT LIMITS AT ALL TIMES DURING CONSTRUCTION OF THE PROJECT.

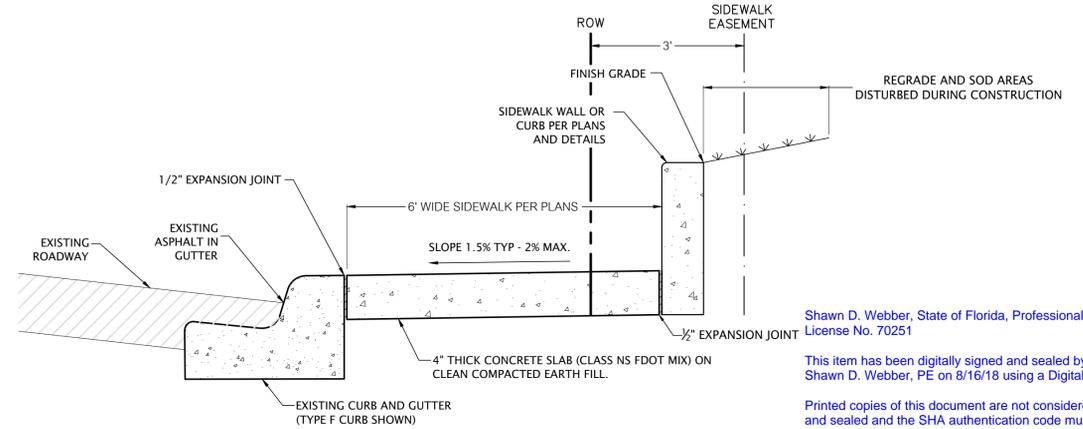
UTILITY GENERAL NOTES

1. EXISTING UTILITIES ARE TO REMAIN IN PLACE AND BE PROTECTED UNLESS NOTED OTHERWISE.
2. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF THE FLORIDA STATUTES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY / AGENCY OWNERS AND HAND DIG WITHIN 3' OF KNOWN UTILITIES.
4. UTILITY / AGENCY OWNERS:

COMPANIES	TELEPHONE NUMBERS
AT&T	(352) 284-8110
COX CABLE	(352) 337-2142
GRU WATER/WASTEWATER	(352) 393-1639
GRU ELECTRIC	(352) 393-1562
GRU GAS	(352) 334-6078
GRU COMMUNICATIONS	(352) 393-6928

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COSTS ASSOCIATED WITH ALL CLEARING AND GRUBBING, AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR WHERE REQUIRED BECAUSE OF CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, FOOTERS, PILES, ETC.)
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
3. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE PLANS AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
4. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
5. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
6. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE 6. ALL ASPHALT AND LIMESTONE WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMESTONE, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMESTONE, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.



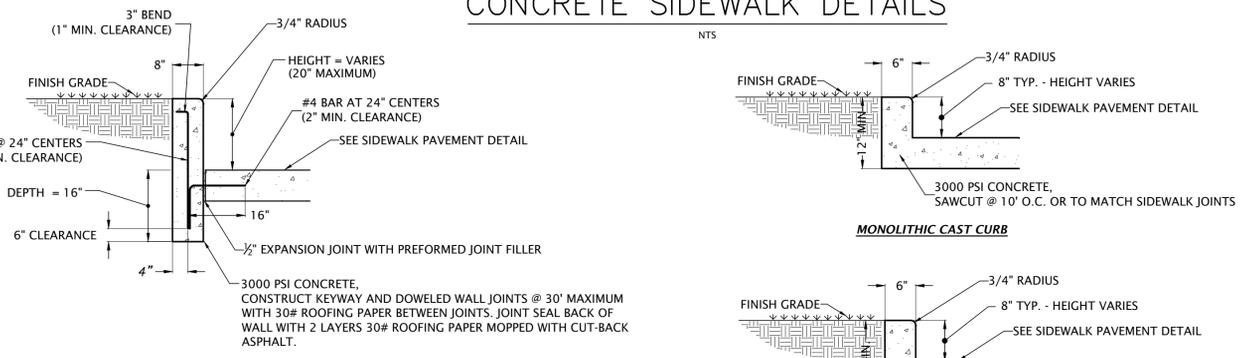
Shawn D. Webber, State of Florida, Professional Engineer, License No. 70251

This item has been digitally signed and sealed by Shawn D. Webber, PE on 8/16/18 using a Digital Signature.

Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

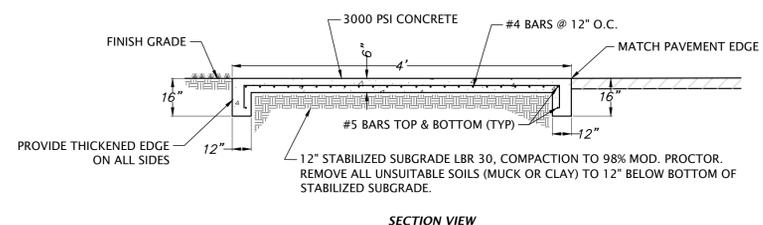
- NOTES:
1. CONSTRUCT CONCRETE SIDEWALK PER FDOT STANDARD PLANS 522-001 AND SPECIFICATION 522
 2. CONSTRUCT 6" THICK SIDEWALK WHEN SUBJECT TO VEHICULAR TRAFFIC, IN CURB RETURNS, AND WHERE CALLED FOR IN THE PLANS
 3. ALL CONTROL AND EXPANSION JOINTS SHALL BE CONSTRUCTED PER FDOT INDEX 522-001
 4. EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS
 5. ALL NEW SIDEWALK SHALL BE CONSTRUCTED WITH A 2% MAXIMUM CROSS-SLOPE AND 5% MAXIMUM RUNNING SLOPE EXCEPT FOR CASES WHERE EXISTING CONDITIONS EXCEED 5% RUNNING SLOPE, THE SIDEWALK SLOPE SHALL BE EQUAL TO OR LESS THAN THE EXISTING SLOPE OF THE ROADWAY PAVEMENT.

CONCRETE SIDEWALK DETAILS

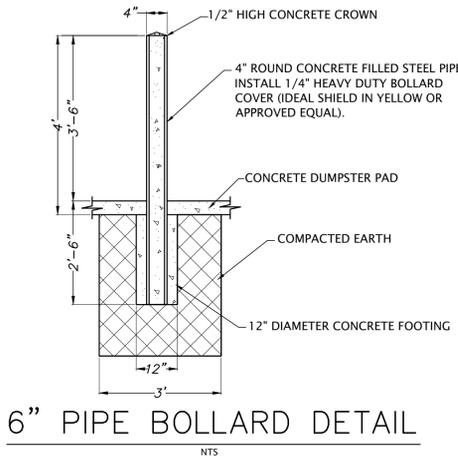


- NOTES:
1. CONSTRUCT SIDEWALK CURB PER FDOT STANDARD SPECIFICATION 520

SIDEWALK CURB DETAIL



CONCRETE DUMPSTER DETAIL



MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING A TRAFFIC CONTROL PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE. THE TRAFFIC CONTROL PLAN MUST BE IN ACCORDANCE WITH LATEST FDOT DESIGN STANDARD PLANS INDEX 102-600 SERIES FOR TRAFFIC CONTROL THROUGH WORK ZONES. WHEN THE CONDITIONS OF THE WORK ZONE DEVIATE FROM THE STANDARD INDEX, AN MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT ADVANCED MOT CERTIFICATION TRAINING AND MUST BE REVIEWED AND APPROVED BY THE REGULATING AUTHORITY.
2. THE CONTRACTOR SHALL SUBMIT THE MOT PERMIT APPLICATION TO THE APPROPRIATE REGULATORY AUTHORITY FOR APPROVAL PRIOR TO BEGINNING WORK REQUIRING THE MOT. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT PERMIT IS APPROVED.
3. THE CONTRACTOR SHALL PROTECT THE PUBLIC FROM DROPOFFS AND ABOVE GROUND HAZARDS AT ALL TIMES DURING CONSTRUCTION.

Sustainable by Design, LLC
 SITE DESIGN + PERMITTING + CIVIL ENGINEERING SERVICES
 1005 NE 10th Place, Gainesville, Florida 32601
 CA Lic. No. 30497
 352-246-3919 / swd@sdainc.com

VERIFY SCALE AND DIMENSIONS ON ORIGINAL DRAWING. THIS SHEET SHALL BE ADJUSTED TO THE SCALE OF THE ORIGINAL DRAWING.

PERMITS: 08/16/2018 - PERMIT PLAN

CLIENT: BBI CONSTRUCTION MANAGEMENT, INC.
 PROJECT: PH1 MU SDRORITY SIDEWALK
 SHEET TITLE: NOTES AND DETAILS

DESIGNER: S. WEBBER
 CHECKED BY: S. WEBBER
 PROJECT NUMBER: 18012

SHAWN D. WEBBER, PE
 FLORIDA - PE NO. 70251

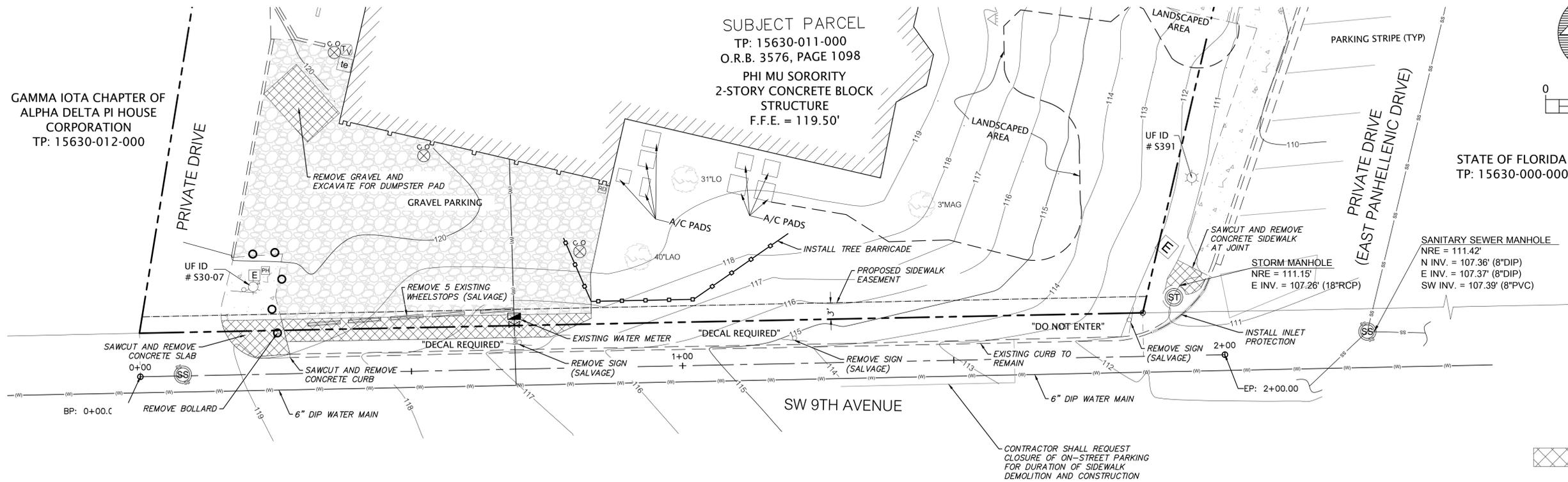
SHEET NO.: 1

Tech: Owner For Date: Aug 16, 2018 4:47pm Filename: C:_BUSINESS\1-ENGINEERING\1-Project Files\1-sha\2018\18012_BBL_P1_MU_SDRORITY_SIDEWALK.dwg

GAMMA IOTA CHAPTER OF
ALPHA DELTA PI HOUSE
CORPORATION
TP: 15630-012-000

SUBJECT PARCEL
TP: 15630-011-000
O.R.B. 3576, PAGE 1098
PHI MU SORORITY
2-STORY CONCRETE BLOCK
STRUCTURE
F.F.E. = 119.50'

STATE OF FLORIDA
TP: 15630-000-000

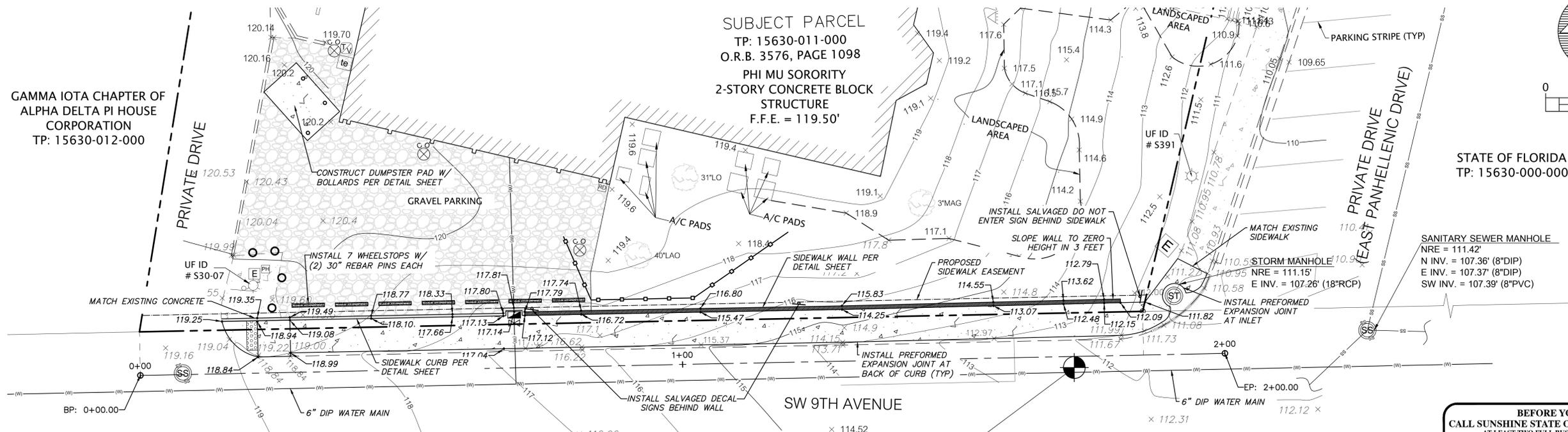


DEMOLITION SITE PLAN

GAMMA IOTA CHAPTER OF
ALPHA DELTA PI HOUSE
CORPORATION
TP: 15630-012-000

SUBJECT PARCEL
TP: 15630-011-000
O.R.B. 3576, PAGE 1098
PHI MU SORORITY
2-STORY CONCRETE BLOCK
STRUCTURE
F.F.E. = 119.50'

STATE OF FLORIDA
TP: 15630-000-000



SIDEWALK SITE PLAN

SITE BENCHMARK
SET NAIL AND DISK STAMPED "TRAV. PT. LB 5075"
ELEVATION = 112.21' (NGVD 29)

Shawn D. Webber, State of Florida, Professional Engineer,
License No. 70251

This item has been digitally signed and sealed by
Shawn D. Webber, PE on 8/16/18 using a Digital Signature.

Printed copies of this document are not considered signed
and sealed and the SHA authentication code must be
verified on any electronic copies.

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

811
Know what's below.
Call before you dig.
1-800-432-4770

Sustainable by Design, LLC
SITE DESIGN + PERMITTING + CIVIL ENGINEERING SERVICES
1005 NE 10th Place, Gainesville, Florida 32601
CA Lic. No. 30497
352-246-3919 / swebber@sustainablebydesign.net

VERIFY SCALE ON
ORIGINAL DRAWING
IF NOT ONE IN THIS
SHEET, ADJUST
SCALES ACCORDINGLY.

REVISIONS

DATE: 08/16/2018 - PERMIT PLAN

CLIENT: BBI CONSTRUCTION MANAGEMENT, INC.
PROJECT: PHI MU SORORITY SIDEWALK

DESIGNER: S. WEBBER
CHECKED BY: C. WEBBER
PROJECT NUMBER: 18012

DESIGNED BY: S. WEBBER
PROJECT NUMBER: 18012

FLORIDA - PE NO. 70251

SHEET NO.: 3





Dan Hunting

From: Chris Trowell
Sent: Tuesday, July 2, 2019 4:59 PM
To: Dixon,Linda B; Mark Humbert
Cc: Dan Hunting; Joe Burns; jobrian@walker-arch.com
Subject: Phi Mu Sidewalk and Utility Conflict

Linda & Mark,

During the committee review process for the Phi Mu Addition & Expansion the requirement for a sidewalk on the south side along 9th Ave. was added to the project. A sidewalk design was completed and priced for inclusion into the project. The sidewalk cost with design is **\$27,979.50**. The owner's budget did not allow for this to be included in the contract and Phi Mu planned to use the houses emergency fund to pay for the sidewalk, as we understood it was going to be a requirement to receive a CO from EH&S. BBI agreed to manage the construction of the sidewalk, pro bono, out of courtesy of our client and the situation.

Fast forward to construction phase for sidewalk. Locates were called for and some exploratory excavation completed for the purpose of laying out the sidewalk and beginning site prep to install the sidewalk. It was discovered that the locations of the existing utilities were identified and a realization that they are in direct conflict with the sidewalk installation.

In an effort to find solutions, BBI then coordinated a site visit with GRU to discuss the possibilities of moving the utilities. After meeting onsite with Andy Roberts and Billy Dampier, the following correspondence was received from Mr. Roberts:

Here is a conceptual cost estimate for relocating the water main lower for placement of the sidewalk shown on the plans.

*Pipe Installation : \$17,500 (Includes cost of pipe, labor, and equipment for an estimated length of 160 lf)
MOT, Fill, Testing : \$8,000
Sub-Total : \$25,500
10% Contingency : \$2,550
Total : **\$28,050***

This assumes that curbing and asphalt will not need to be touched and that the relocation can occur within the currently grassed area.

*If the curbing and asphalt areas need to be impacted, then it would be roughly **\$5,000** for each end which would include the additional piping, labor, asphalt and curbing replacement.*

Therefore the total could be as much as \$38,050.

Let me know if you need anything else.

\$27,979.50 + \$38,050 = \$66,029.50

Thanks,

Andrew Roberts, P.E. | P: (352) 393-1639

The owner's resources have been exhausted and BBI feels redesigning the sidewalk to go around the utilities along 9th is not feasible given the existing grade change. We've exhausted all other design options for 9th and moving utilities is our

only option if the sidewalk is to stay in the project. Phi Mu is scheduled to be complete in 4 weeks and this sidewalk was understood to be a requirement for CO. In light of our current situation, would it be possible to decouple the sidewalk from the CO requirement to allow time to resolve the conflict?

Thank you in advance for any input or suggestions. We are more than willing to meet in person to discuss, just provide some dates and times for consideration.

Thank you again.

Kindly,

Chris Trowell

Vice President

BBI Construction Management, Inc.

4639 NW 53rd Ave | Gainesville, FL 32653

V: 352.338.2073 x114 | F: 352.371.4784 | C: 352.538.4231

c.trowell@bbi-cm.com | <http://www.bbi-cm.com>



From: **Daniel Young** <DanielY@chw-inc.com>

Date: Mon, Aug 5, 2019 at 11:54 AM

Subject: RE: WA16068 Phi Mu sidewalk

To: Jason O'Brian <jobrian@walker-arch.com>

Cc: Robert Walpole <walpole@chw-inc.com>, Gina Goodyear <GinaG@chw-inc.com>

Jason,

I briefly heard about it from BBI when I met with them a few weeks ago about the drainage issue they were having. I remember writing an additional service for the design of the sidewalk but that was never accepted. Hence I thought it was not required. Never heard that Land Use committee required it.

The City of Gainesville does require sidewalks on development projects. However this is not in their jurisdiction. See the below link to the code requirement.

https://library.municode.com/fl/gainesville/codes/code_of_ordinances?nodeId=PTIICOOR_CH30LADECO_ARTVIDEST_DIV6TR_S30-6.18SISHEBIPA

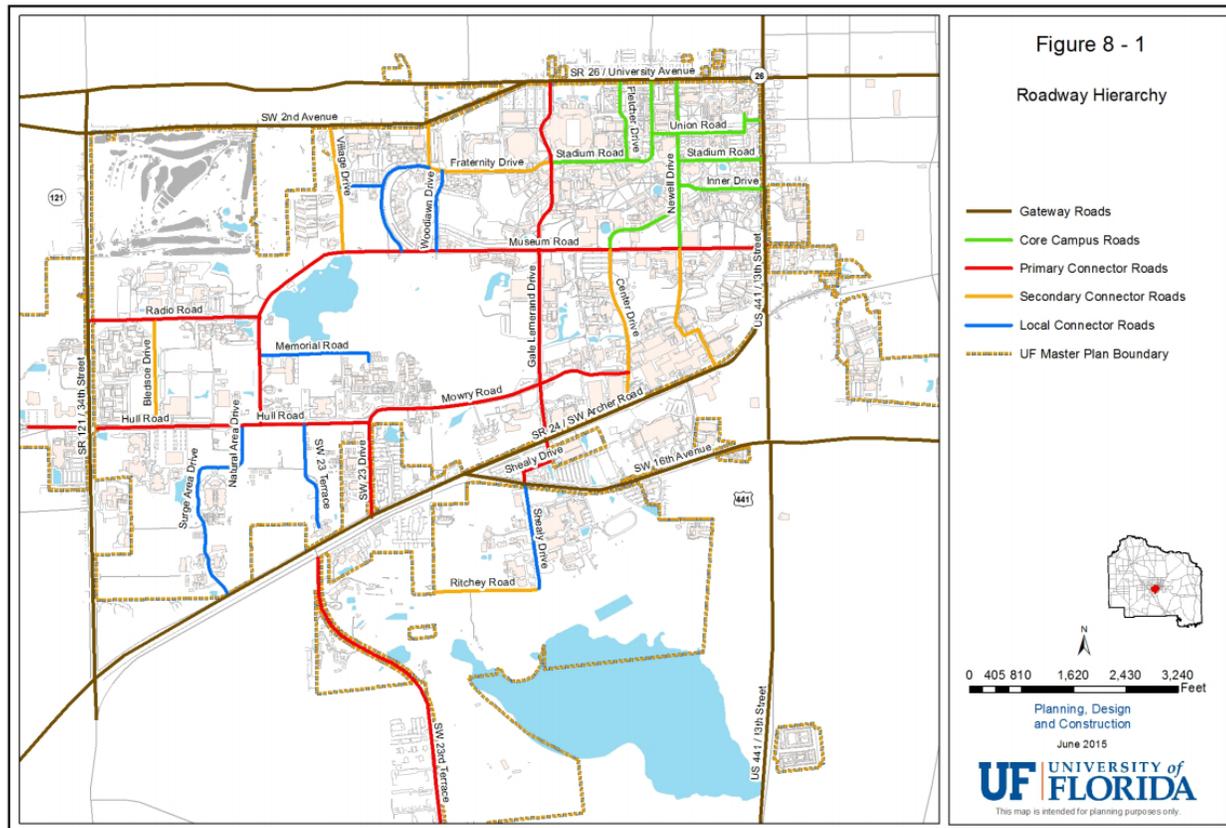
There are exceptions but none related to utility conflicts. Has anyone approached GRU on relocating them to have the appropriate cover requirements. If you can't fit a 4" thick sidewalk in, then there is no cover on the utility, which doesn't meet their or FDEP standards (assuming it's water or sewer).

The UF Masterplan doesn't really determine the roadway type. I would think that it would be similar to Fraternity Drive (which is a local connector road) but I could see where they could classify it as Secondary Connector Road.

The below image and text (below the image) is from the UF Masterplan (Chapter 8 Transportation Data & Analysis). Note a local connector road only requires a sidewalk on one side vs. a secondary connector road requires it on both sides. See below.

One thing to bring up, is Alpha Delta Pi Sorority only built a sidewalk to their screen wall (West of Phi Mu). Why should this project be required to connect to it when they didn't extend to the alley road?

Note the roadway slope is not a problem as the City will allow the contractor to use PROWAG standards, which allows the sidewalk to follow the roadway longitudinal slope.



Local Connector roads provide access to campus facilities that are more internally focused with less emphasis on providing public access or through movement. They are low-volume roadways that are located in more isolated areas of campus and do not provide direct access to any primary destinations. Due to their low-volume of vehicles, bicycle access can be provided in bicycle lanes, wide-curb lanes or general shared-use pavements (with or without lane striping). **Sidewalks may be provided on one side of the street only.** Campus transit routes may run on local connector roads, but are discouraged when conflicting with bicycle and pedestrian access. Transportation planning should strive to maintain these roadways in low-volume use. Appropriate traffic calming techniques are compatible on local connectors where necessary to maintain low volumes and low speeds.

Secondary Connector roads provide internal circulation, but also serve primary destinations and or gateways. They carry moderate vehicle volumes and should accommodate bicycles and pedestrians with bicycle lanes and **sidewalks on both sides.** When vehicle volumes are higher or a major gateway is served, access management to restrict turning vehicles and limited development on the road frontage are appropriate techniques to maintain traffic flow without the turn lanes and medians that would be expected on a Primary Connector. Campus and City transit routes may be present on these roadways. Appropriate traffic calming techniques are compatible on secondary connectors where feasible with designs that do not create hazards for transit or bicycle users.

Thank you,

DANIEL YOUNG, P.E., LEED A.P.

Director of Engineering, Land Development
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 e: daniely@chw-inc.com
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