

REPORT TO THE LAND USE AND FACILITIES PLANNING COMMITTEE

To:	The LUFPC Committee	FOR:	March 2, 2021 LUFPC meeting.
Via:	Carlos Dournac, Assistant Vice President, PDC	FROM:	Cydney McGlothlin, University Architect
REQUESTOR:	Harn Museum	PRESENTERS:	Cydney McGlothlin

PHASE:	Committee Responsibilities:	STATUS AND PRIOR COMMENTS:	DATE:
X PROGRAMMING	<i>The committee will provide preliminary review of the proposed land use and siting options, and recommend approval/denial of these options.</i>		
SCHEMATIC DESIGN	<i>The committee will review and recommend approval/denial of building footprints and initial development of the site plan and exterior building design.</i>		
DESIGN DEVELOPMENT	<i>The committee will review and recommend approval/denial of final architectural design, including landscaping of buildings, building additions/renovations, and utility projects.</i>		

BACKGROUND INFORMATION:

PROJECT:
UF-671, Harn Museum American Art Wing

SITE:
See attached location map.

STATUS:
This project is in the programming and site selection phase

OBJECTIVES:

- Approval of site selection

PROJECT PHASE AND PRESENTATION NARRATIVE:

Programming

ENCLOSURES:

- Presentation
- CMP Checklist

UF-671 Harn Museum American Art Wing

Programming
February 2021

Existing Cultural Plaza



SW. 34TH STREET

EVENT SIGN 1094

RETENTION POND

RESTROOMS AND PAVILION

1164

VOLLEYBALL COURTS

HULL ROAD

318 319 322 326 332

309 HARN MUSEUM

BETTER NORTH-SOUTH PEDESTRIAN CONNECTIONS FROM HULL ROAD TO MUSEUMS & PERFORMING ARTS CENTER

ADD 3 ADDITIONAL HC PARKING SPACES (14 TO 17) - 21% INCREASE

ADD COVERED DROP-OFF TO HARN MUSEUM

341 VENDING KIOSK

RETENTION BASIN

308 POWELL HALL

1166 PARKING GARAGE

1140 BUS SHELTER

MUCH BETTER VEHICULAR CIRCULATION PATTERNS

CLOSE MULTIPLE ACCESS POINTS OFF MAIN DRIVE FOR LESS CONFLICT

INCREASED EASTERN PARKING COUNT BY 27 SPACES (90 TO 117) 30% INCREASE

CONSTRUCT SMALL ADA PARKING LOT (NOT DESIGNED)

ADD 7 SPACES CLOSER TO FLORIDA MUSEUM OF NATURAL HISTORY

SCALE 1" = 50'

UNIVERSITY OF FLORIDA
TRANSPORTATION STUDY
MUSEUM PARKING LOT IMPROVEMENTS

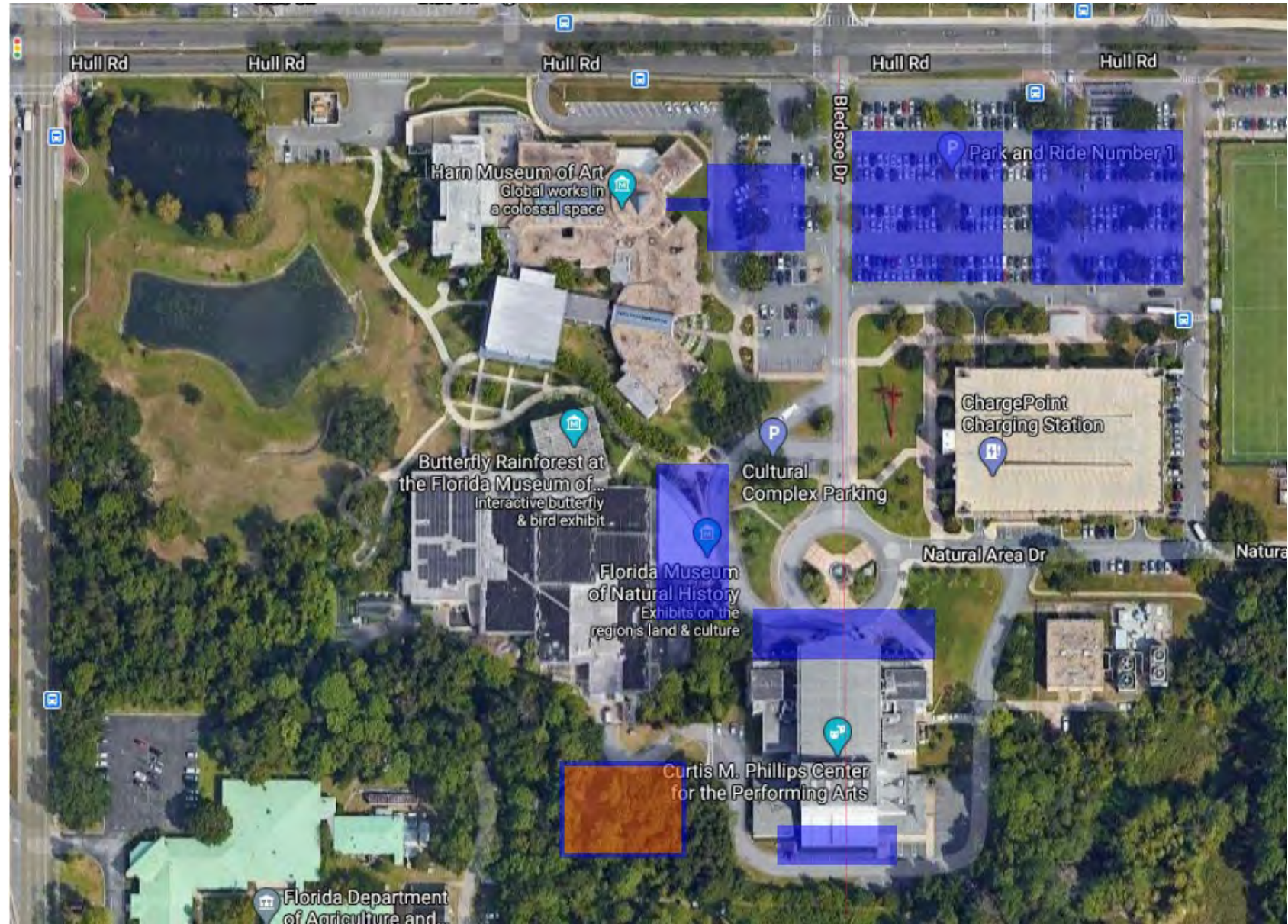
BROWN & CULLEN Inc.
CIVIL ENGINEERS
LAND PLANNERS

3532 N.W. 42nd Street
Gainesville, Florida 32609
PHONE: (352) 379-0630 FAX: (352) 379-0631
E-MAIL: brc@brown-cullen.com
S. of the 1st of 2nd, 3rd, 4th, 5th, 6th, 7th, 8th, 9th, 10th, 11th, 12th, 13th, 14th, 15th, 16th, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st, 32nd, 33rd, 34th, 35th, 36th, 37th, 38th, 39th, 40th, 41st, 42nd, 43rd, 44th, 45th, 46th, 47th, 48th, 49th, 50th, 51st, 52nd, 53rd, 54th, 55th, 56th, 57th, 58th, 59th, 60th, 61st, 62nd, 63rd, 64th, 65th, 66th, 67th, 68th, 69th, 70th, 71st, 72nd, 73rd, 74th, 75th, 76th, 77th, 78th, 79th, 80th, 81st, 82nd, 83rd, 84th, 85th, 86th, 87th, 88th, 89th, 90th, 91st, 92nd, 93rd, 94th, 95th, 96th, 97th, 98th, 99th, 100th, 101st, 102nd, 103rd, 104th, 105th, 106th, 107th, 108th, 109th, 110th, 111th, 112th, 113th, 114th, 115th, 116th, 117th, 118th, 119th, 120th, 121st, 122nd, 123rd, 124th, 125th, 126th, 127th, 128th, 129th, 130th, 131st, 132nd, 133rd, 134th, 135th, 136th, 137th, 138th, 139th, 140th, 141st, 142nd, 143rd, 144th, 145th, 146th, 147th, 148th, 149th, 150th, 151st, 152nd, 153rd, 154th, 155th, 156th, 157th, 158th, 159th, 160th, 161st, 162nd, 163rd, 164th, 165th, 166th, 167th, 168th, 169th, 170th, 171st, 172nd, 173rd, 174th, 175th, 176th, 177th, 178th, 179th, 180th, 181st, 182nd, 183rd, 184th, 185th, 186th, 187th, 188th, 189th, 190th, 191st, 192nd, 193rd, 194th, 195th, 196th, 197th, 198th, 199th, 200th, 201st, 202nd, 203rd, 204th, 205th, 206th, 207th, 208th, 209th, 210th, 211th, 212th, 213th, 214th, 215th, 216th, 217th, 218th, 219th, 220th, 221st, 222nd, 223rd, 224th, 225th, 226th, 227th, 228th, 229th, 230th, 231st, 232nd, 233rd, 234th, 235th, 236th, 237th, 238th, 239th, 240th, 241st, 242nd, 243rd, 244th, 245th, 246th, 247th, 248th, 249th, 250th, 251st, 252nd, 253rd, 254th, 255th, 256th, 257th, 258th, 259th, 260th, 261st, 262nd, 263rd, 264th, 265th, 266th, 267th, 268th, 269th, 270th, 271st, 272nd, 273rd, 274th, 275th, 276th, 277th, 278th, 279th, 280th, 281st, 282nd, 283rd, 284th, 285th, 286th, 287th, 288th, 289th, 290th, 291st, 292nd, 293rd, 294th, 295th, 296th, 297th, 298th, 299th, 300th, 301st, 302nd, 303rd, 304th, 305th, 306th, 307th, 308th, 309th, 310th, 311th, 312th, 313th, 314th, 315th, 316th, 317th, 318th, 319th, 320th, 321st, 322nd, 323rd, 324th, 325th, 326th, 327th, 328th, 329th, 330th, 331st, 332nd, 333rd, 334th, 335th, 336th, 337th, 338th, 339th, 340th, 341st, 342nd, 343rd, 344th, 345th, 346th, 347th, 348th, 349th, 350th, 351st, 352nd, 353rd, 354th, 355th, 356th, 357th, 358th, 359th, 360th, 361st, 362nd, 363rd, 364th, 365th, 366th, 367th, 368th, 369th, 370th, 371st, 372nd, 373rd, 374th, 375th, 376th, 377th, 378th, 379th, 380th, 381st, 382nd, 383rd, 384th, 385th, 386th, 387th, 388th, 389th, 390th, 391st, 392nd, 393rd, 394th, 395th, 396th, 397th, 398th, 399th, 400th, 401st, 402nd, 403rd, 404th, 405th, 406th, 407th, 408th, 409th, 410th, 411th, 412th, 413th, 414th, 415th, 416th, 417th, 418th, 419th, 420th, 421st, 422nd, 423rd, 424th, 425th, 426th, 427th, 428th, 429th, 430th, 431st, 432nd, 433rd, 434th, 435th, 436th, 437th, 438th, 439th, 440th, 441st, 442nd, 443rd, 444th, 445th, 446th, 447th, 448th, 449th, 450th, 451st, 452nd, 453rd, 454th, 455th, 456th, 457th, 458th, 459th, 460th, 461st, 462nd, 463rd, 464th, 465th, 466th, 467th, 468th, 469th, 470th, 471st, 472nd, 473rd, 474th, 475th, 476th, 477th, 478th, 479th, 480th, 481st, 482nd, 483rd, 484th, 485th, 486th, 487th, 488th, 489th, 490th, 491st, 492nd, 493rd, 494th, 495th, 496th, 497th, 498th, 499th, 500th, 501st, 502nd, 503rd, 504th, 505th, 506th, 507th, 508th, 509th, 510th, 511th, 512th, 513th, 514th, 515th, 516th, 517th, 518th, 519th, 520th, 521st, 522nd, 523rd, 524th, 525th, 526th, 527th, 528th, 529th, 530th, 531st, 532nd, 533rd, 534th, 535th, 536th, 537th, 538th, 539th, 540th, 541st, 542nd, 543rd, 544th, 545th, 546th, 547th, 548th, 549th, 550th, 551st, 552nd, 553rd, 554th, 555th, 556th, 557th, 558th, 559th, 560th, 561st, 562nd, 563rd, 564th, 565

2005 massing study

Potential Cultural Plaza projects

Blue – planning
Orange - funded



Harn Museum American Art Wing

Planning footprint with landscaping around building

Loss of visitor parking

Loss of orange parking

For planning purposes, we are estimating 75 spaces.



Harn Museum American Art Wing

Planning footprint with landscaping around building

Loss of visitor parking

Loss of orange parking

For planning purposes, we are estimating 75 spaces.



Harn Museum American Art Wing



A



E



B



C

2-3 trees
impacted



D

Harn Museum American Art Wing

Program:

- 20,000 GSF
- 3 stories (two above ground and a basement)
- Basement: storage
- Main level: galleries
- Upper level: Works-on-Paper and Conservation

Other objectives:

- Create an entrance to the Cultural Plaza
- Create a better drop off to the Harn

Schedule:

- AE selection – complete April 2021
- Schematic Design approvals – July 2021
- Pause for fundraising
- Design Development approvals – TBD
- Construction - TBD

REPORT TO THE LAND USE AND FACILITIES PLANNING COMMITTEE

TO:	The LUFPC Committee	FOR:	March 2, 2021 LUFPC meeting.
VIA:	Carlos Dognac, Assistant Vice President, PDC	FROM:	Milo Zapata, Project Manager
REQUESTOR:	Mark Helms, Assistant Vice President, FS	PRESENTERS:	Milo Zapata and Design Professional

PHASE:	Committee Responsibilities:	STATUS AND PRIOR COMMENTS:	DATE:
X PROGRAMMING	<i>The committee will provide preliminary review of the proposed land use and siting options, and recommend approval/denial of these options.</i>	Approved	08-08-2019
X SCHEMATIC DESIGN	<i>The committee will review and recommend approval/denial of building footprints and initial development of the site plan and exterior building design.</i>	UF-623D For Approval	
X DESIGN DEVELOPMENT	<i>The committee will review and recommend approval/denial of final architectural design, including landscaping of buildings, building additions/renovations, and utility projects.</i>	UF-623B For Approval UF-623C Update	

BACKGROUND INFORMATION:

PROJECT:
UF-623-B,C,D, Central Energy Plant and Utilities Infrastructure

SITE:
Gale Lemerand, adjacent to parking garage XIV.

- STATUS:
- A presentation was made to the LVL Committee on 2-11-2021 regarding the following:
 - UF-623B - Packaged Chiller Plant – Approved.
 - UF-623C – Horizontal Directional Drilling (HDD) – Update
 - UF-623D – Central Energy Plant Facade & Landscaping – Approved
 - This Presentation is being made for the Advanced Schematic Design stage of the Program.
 - Anticipated construction start – early 2022
 - Construction duration 3.5 years
 - Budget \$200M

- OBJECTIVES:
- UPDATE on Advanced Schematic Design (ASD) phase – requesting two approvals and providing one update.

PROJECT PHASE AND PRESENTATION NARRATIVE:

ADVANCED SCHEMATIC DESIGN

This presentation will address several items discussed during the program Committee phase meeting.

- UF-623B - Packaged Chiller Plant – **for Approval.**
- UF-623C – Horizontal Directional Drilling (HDD) – **Update.**
- UF-623D – Central Energy Plant Facade & Landscaping - **for Approval.**

ENCLOSURES:

1. Presentation
2. CMP Checklist

UF

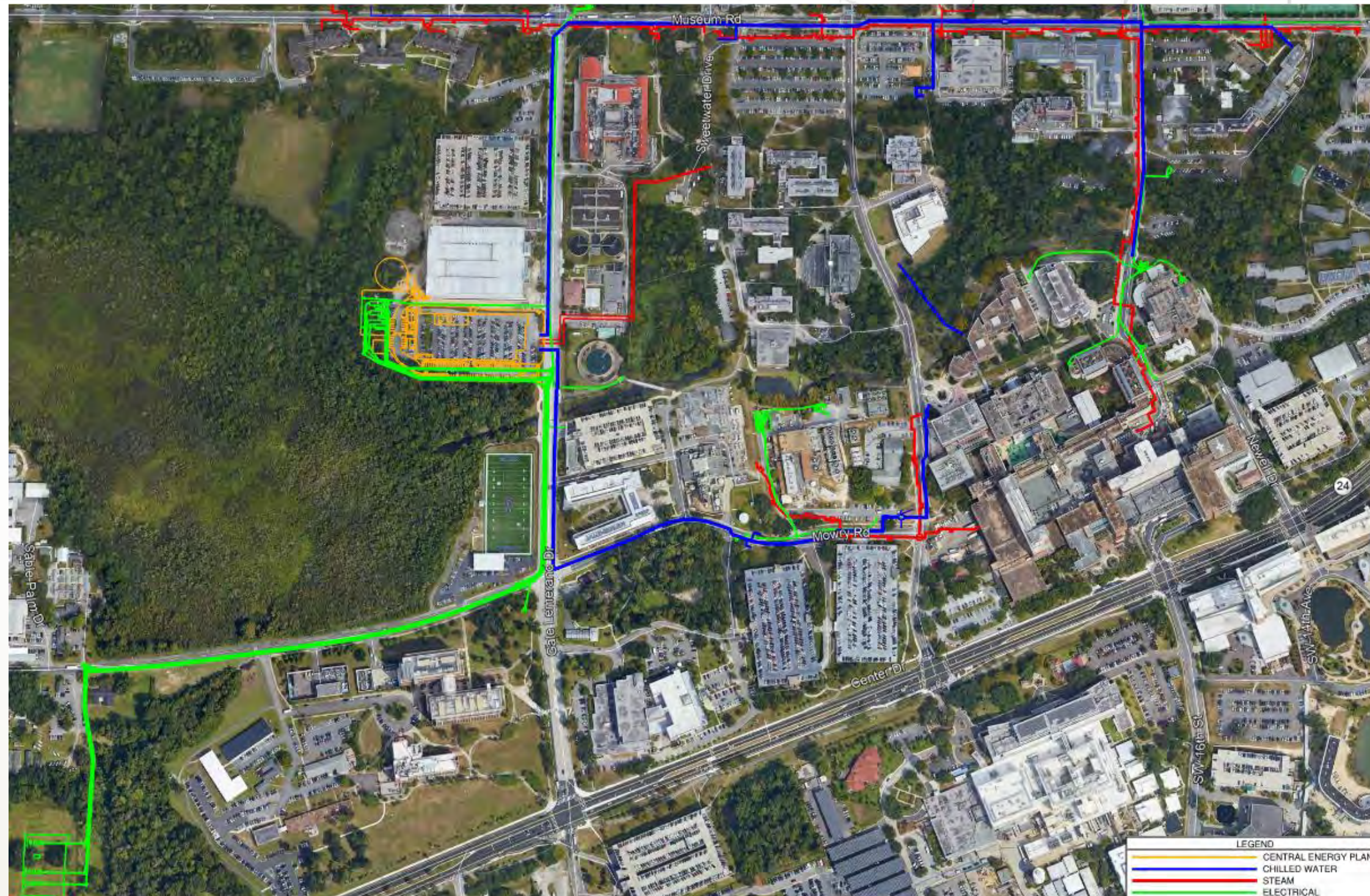
UNIVERSITY *of*
FLORIDA

Parking and Transportation Committee

February 1, 2021

UF-623D CENTRAL ENERGY PLANT
UF-623B THERMAL UTILITY INFRASTRUCTURE
UF-623C ELECTRICAL UTILITY INFRASTRUCTURE

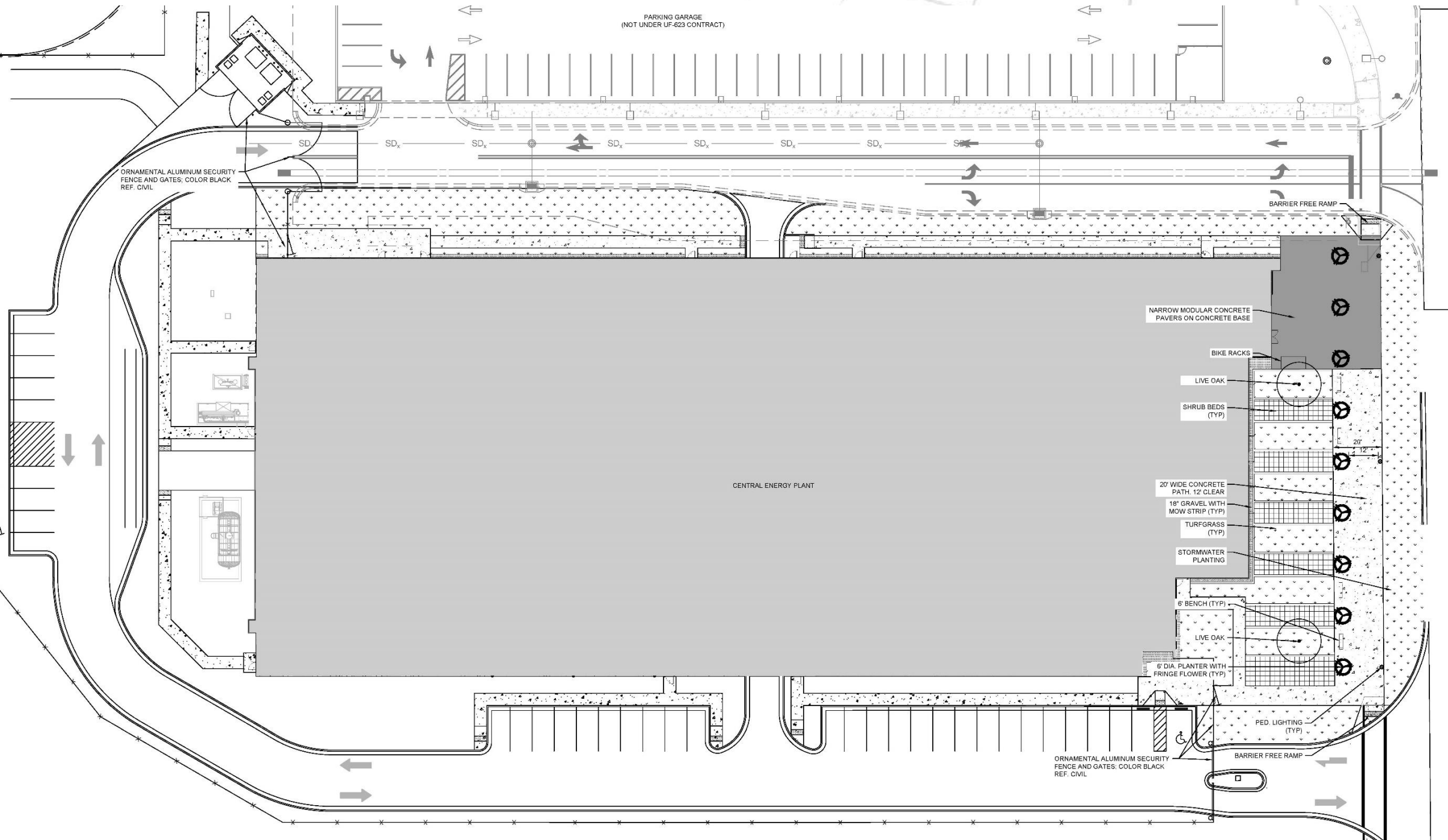
Jacobs

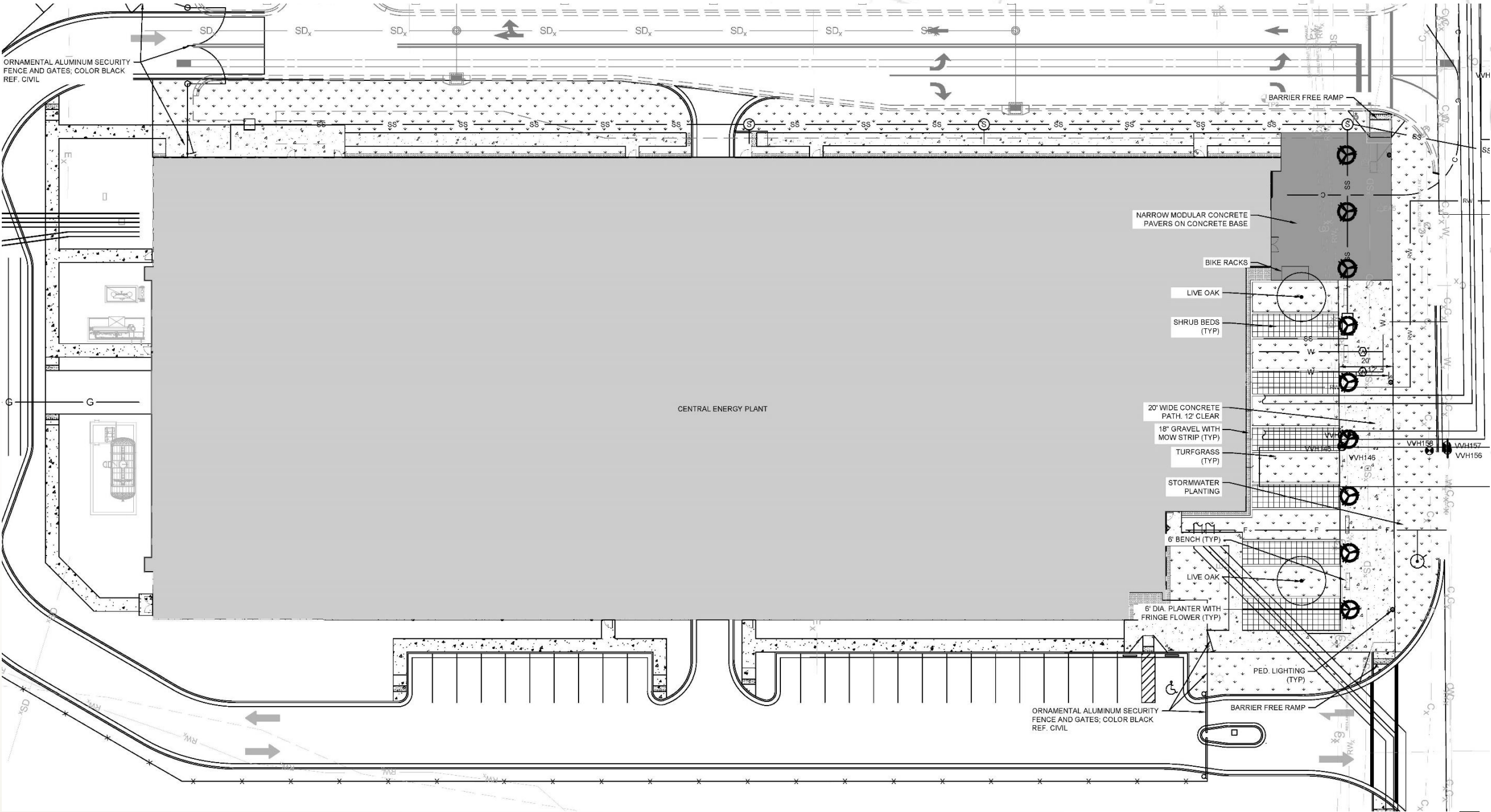














Highrise Live Oak
Quercus virginiana 'Qvtia'
30'-40'Ht 16'-25' Sprd



White Fringetree
Chionanthus virginicus
12'-15'Ht 10'-15' Sprd



Pink Muhly



Liriope



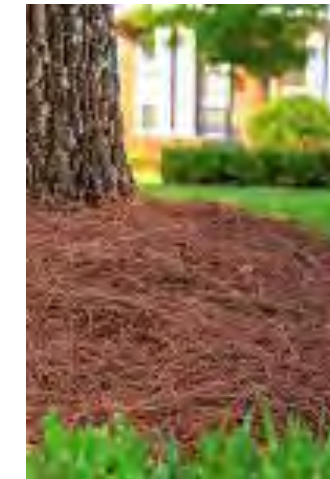
Centipede Grass



Dwarf Firebush



Washed Riverrock



Pine Bark Mulch Pine Needles Mulch

Marek Round Planter 84in.Dia x 34in.H (Fiberglass)



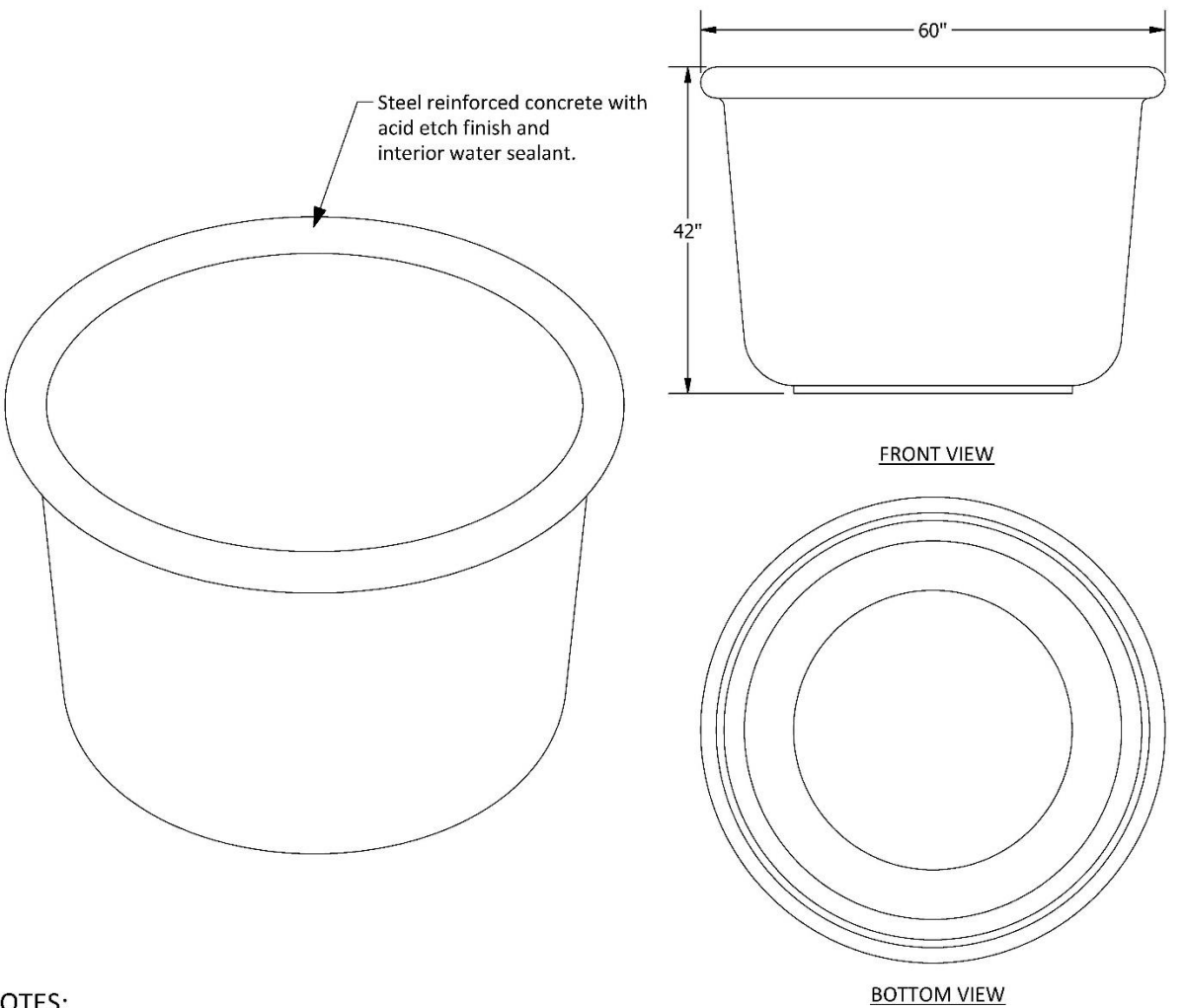
Planterworx – Site Cylinder 6 ft dia. X 36 ht. Color: White (Metal)



SITE CYLINDER PLANTERS
DIMENSIONS VARY / PRODUCTS ARE MADE TO ORDER
BASED ON CUSTOMER SPECIFIED DIMENSIONS

UF-623D: CEP Planters

Canterbury Designs – Jardin Planter 60 in dia. X 42 in ht.
Color: White (Precast Concrete)



- NOTES:
1. Also available in lighter weight glass reinforced concrete.
 2. Contact us for a selection of standard colors and textures.
 3. One inch drain hole(s) can be added at customer request.



Medium Broom Finish Concrete



Contemporary Bench



Aluminum Fence



Narrow Modular Concrete Pavers



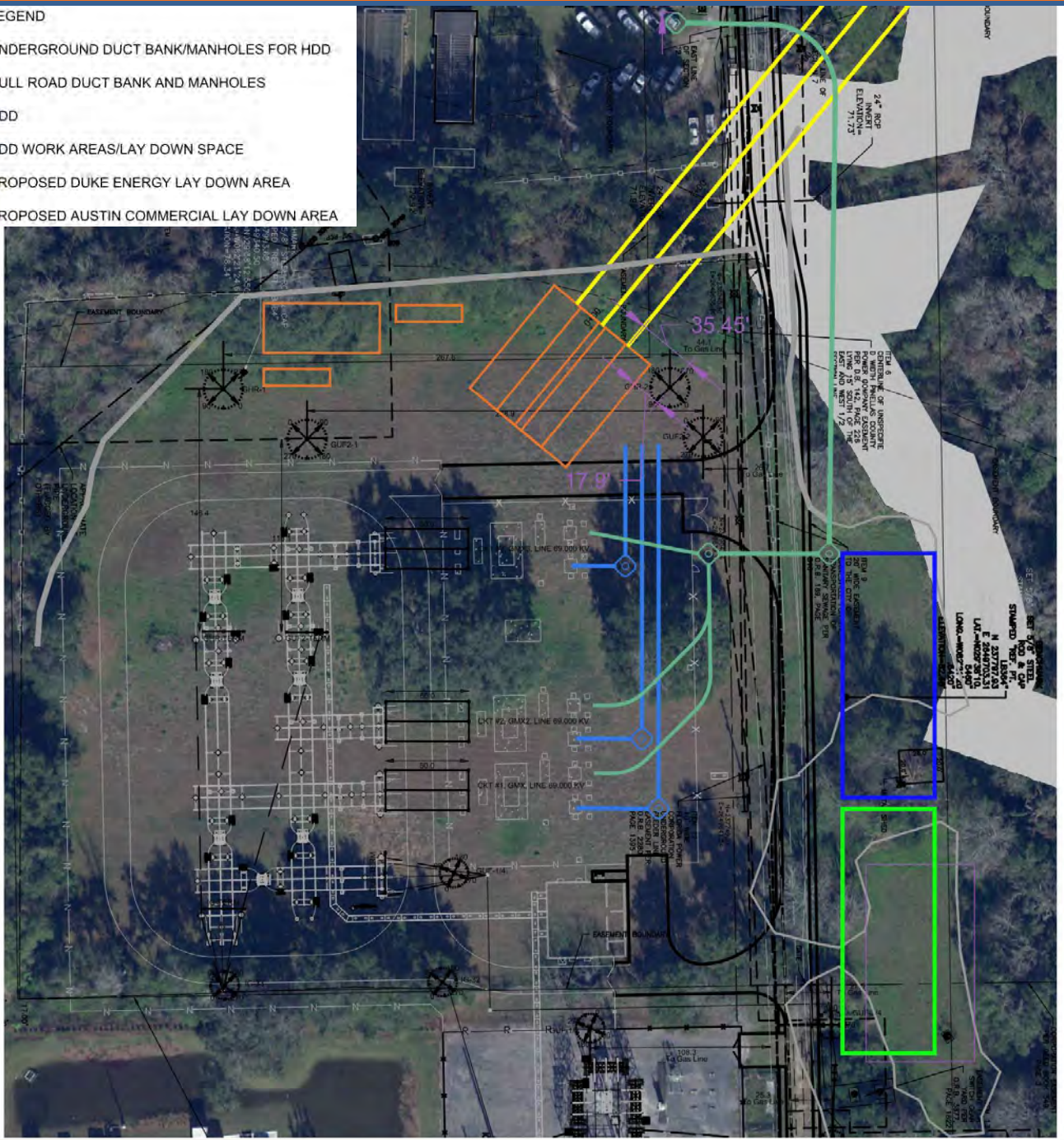
Contemporary Bike Rack



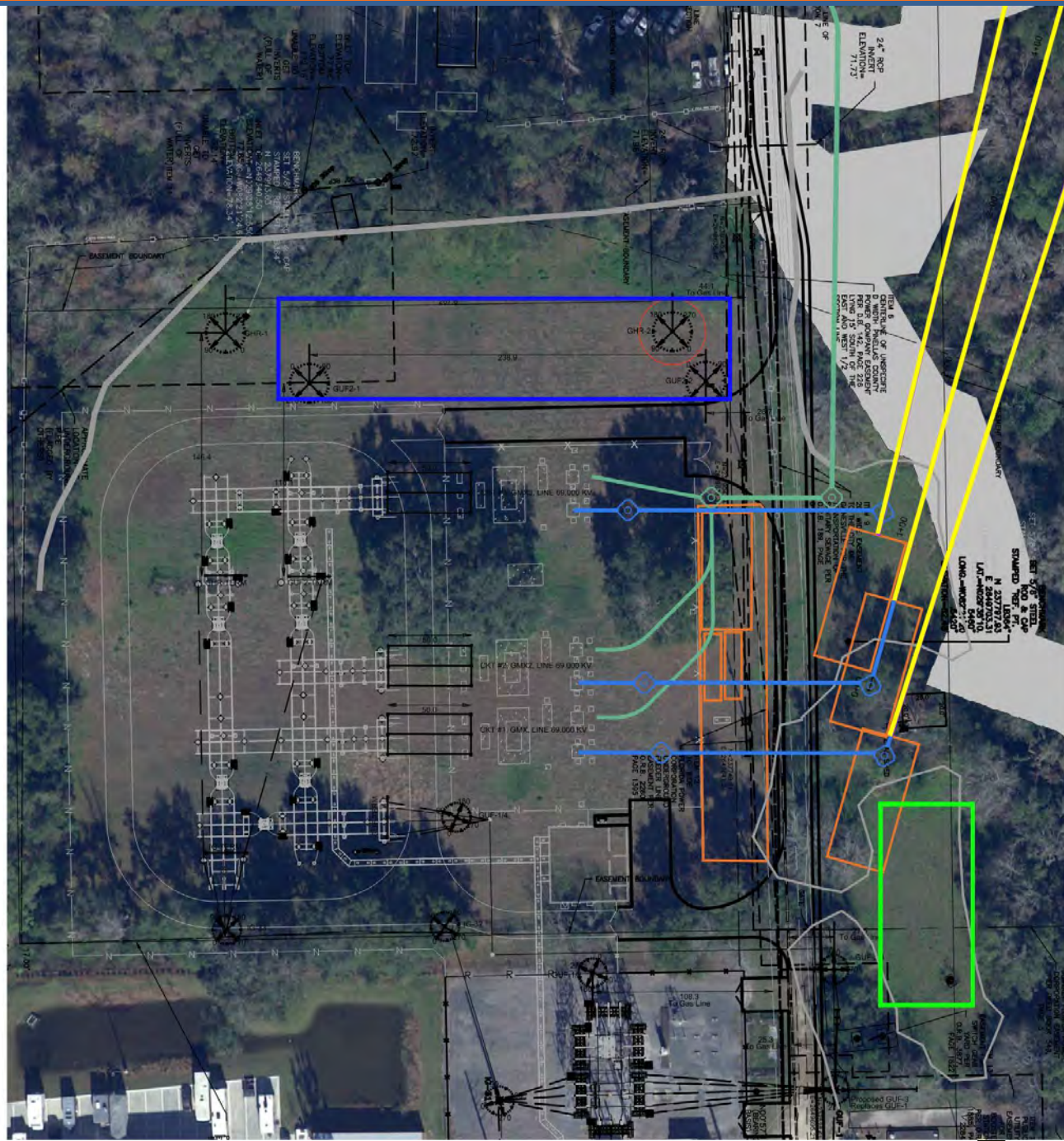
Pedestrian Light

UF-623C: HDD Progress Update

- LEGEND
- UNDERGROUND DUCT BANK/MANHOLES FOR HDD
 - HULL ROAD DUCT BANK AND MANHOLES
 - HDD
 - HDD WORK AREAS/LAY DOWN SPACE
 - PROPOSED DUKE ENERGY LAY DOWN AREA
 - PROPOSED AUSTIN COMMERCIAL LAY DOWN AREA



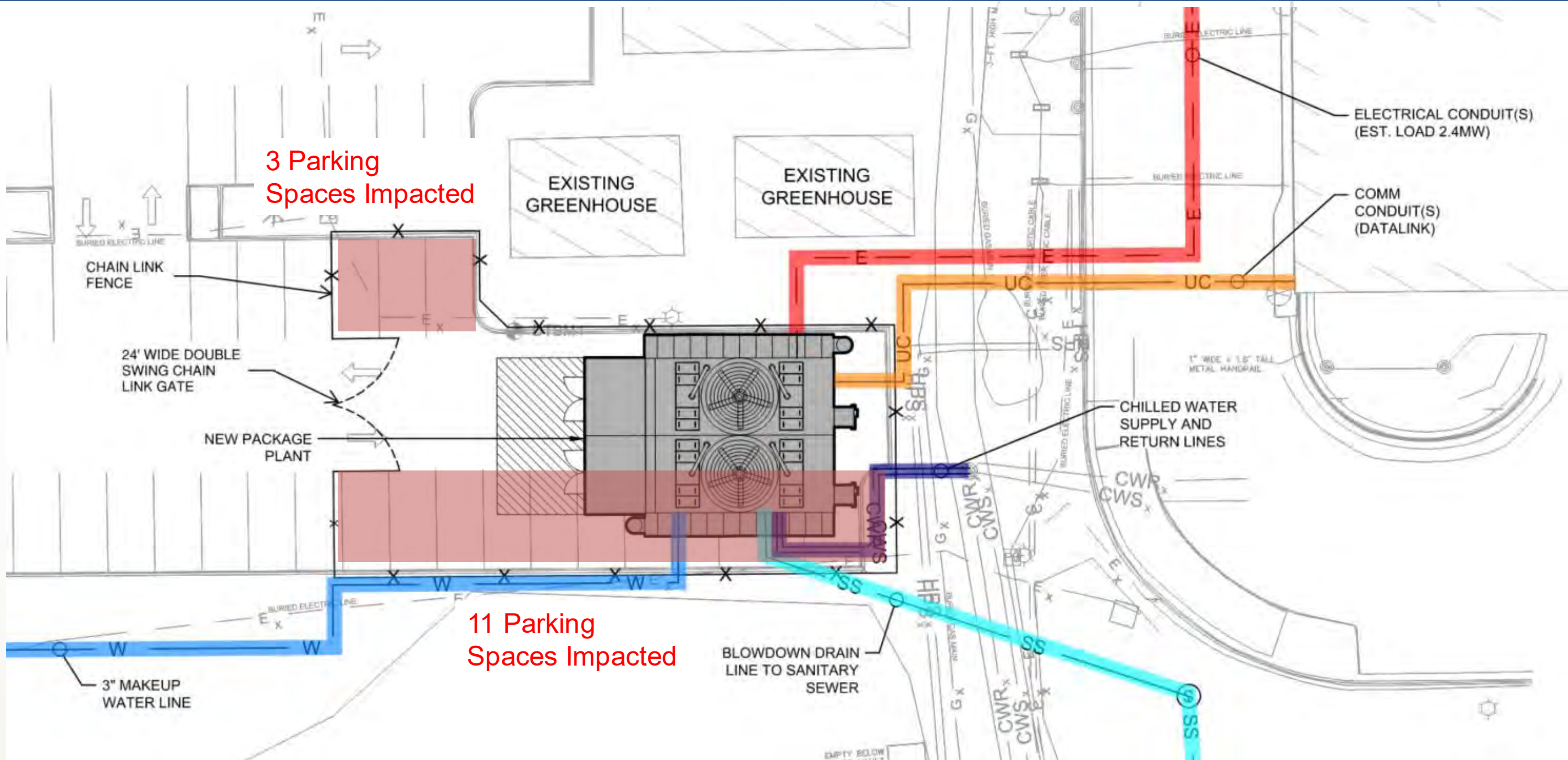
OPTION 1



OPTION 2



UF-623B: Packaged Chilled Water Plant



Representative 3D
model to show
scale; not final plant
layout.







30" DBH, pruned
only over parking
lot, not required to
be removed.



30" DBH, pruned
only over parking
lot, not required to
be removed.



QUESTIONS?

Campus Master Plan Checklist

To: ULUFPC, LVLC, PHBSC, P&TC DATE: 02-03-2021 PROJECT: UF 623D Central Energy Plant
Prepared by: Erik Lewis / Milo Zapata FROM: _____

This form is to be completed for the applicable phase at the time that the project is reviewed by committees. Do not mark shaded cells in the columns because they do not apply to the review at the specified phase. Checklists should be cumulative so that projects presented at Design Development have all phase columns completed. Design-build projects may omit the Schematic Design phase column. These checklist criteria apply to development on the main campus and, as applicable, on Satellite Properties in Alachua County.

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				<input type="checkbox"/> Concept <input checked="" type="checkbox"/> Advanced					
	YES	NO	NA	YES	NO	NA	YES	NO	NA
UNIVERSITY LAND USE AND FACILITIES PLANNING COMMITTEE (ULUFPC)									
1) The project appears in the Capital Improvements Element, Table 13-1 (Ten-Year Capital Projects List) and Figure 13-1 (Future Building Sites) <input checked="" type="checkbox"/> As presented in the adopted Campus Master Plan <input type="checkbox"/> With edits to Table 13-1 to modify the project GSF or description <input type="checkbox"/> With edits to Figure 13-1 to modify or assign the project site	X			X			-	-	-
a) If "no" or with edits: The addition or modification of the project in the CMP can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement			X			X	-	-	-
2) The project is consistent with the Future Land Use designation and definition (<i>Figure 2-1, Future Land Use and Policies 1.1.2 and 1.1.8</i>)		X		X			-	-	-
a) If "no", the necessary modification to Figure 2-1 (Future Land Use) can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement	X					X	-	-	-
3) The project location is consistent with policies that direct the location of specific uses (i.e. academic facilities, support/clinical facilities, housing, recreation/open space & parking) (<i>Academic Facilities, Policy 1.2.3; Support/Clinical, Policies 1.1.3, 1.1.4 and 1.1.6; Housing, Policy 1.3.1; Recreation/Open Space, Policies 1.3.1 and 1.3.3; Transportation Policy 2.5.4 and 2.5.6</i>)	X			X			-	-	-
4) <input checked="" type="checkbox"/> The project is not a temporary building, OR <input type="checkbox"/> The temporary building is located in the Surge Area, Energy Park, Physical Plant Division complex, Academic/Research-Outdoor Future Land Use, or the temporary building supports construction activity (<i>Capital Improvements, Policy 1.1.15</i>)	X			-	-	-	-	-	-
5) The project considers life-cycle costing, pursues principles of sustainable design and/or seeks LEED certification (<i>Capital Improvements, Policy 1.1.14</i>)	X			X					
6) The building footprint, orientation and setback comply with Policy 1.3.1, Urban Design Element because the project is located with road frontage along Stadium Rd (Gale Lemerand Dr to Buckman Dr), University Ave (Gale Lemerand Dr to SW 13 th St), SW 13 th St, Center Drive, Museum Rd (west of Center Dr. to SW 13 th St), Archer Rd/SW 16 th Ave, or Radio Rd; or within new centers of development (i.e. near Orthopaedics & Sports Med, Cultural Plaza, Southwest Recreation, and near Fifield Hall)			X			X			

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				YES	NO	NA	YES	NO	NA
7) The project is a minimum of 3-stories; <u>OR</u> the project demonstrates unique programmatic, functional or code requirements that dictate a variance from the 3-story minimum; <u>OR</u> the project meets alternate building height and design characteristic requirements based on its location in unique areas of campus for which more specific building design requirements apply (i.e. near Orthopaedic & Sports Med, SW Research Circle/Cancer-Genetics area, Fifield Hall area, Cultural Plaza, Radio Road Commuter Lot area, Archer Road Corridor/Planning Sector "G", Historic Impact Area, PKY Developmental Research School and Eastside Campus) (<i>Urban Design, Policy 1.3.4 through 1.3.10</i>); <u>OR</u> the project meets guidance for building height and design of housing facilities (<i>Housing, Policy 1.3.2</i>)	X			X					
8) The project provides community design integration along campus perimeters as described in Policies 1.2.1 and 1.4.3, Urban Design Element, with respect to landscaping, hardscaping, views, signage, and bicycle/pedestrian accommodation as applicable because the project is located along Gateway Roads identified in Figure 1-6, Urban Design Element (i.e. University Ave, SW 2 nd Ave, SW 13 th St, Archer Rd, and SW 34 th St)	-	-	-	-	-	-			
9) <input type="checkbox"/> The project includes exterior public art; - <i>Note: LVLC and PHBSC (if applicable) approval recommendation required</i> <u>OR</u> <input type="checkbox"/> The project demonstrates that exterior installation of public art is infeasible or undesirable (<i>Urban Design, Policies 1.6.2, 1.6.3 and 1.6.4</i>)	-	-	-	-	-	-			
10) Utilities and associated support structures are installed underground or are appropriately screened from view by decorative architectural walls or landscaping (<i>Electric Power and Other Fuels Sub-Element, Policy 2.1.7 and 2.1.8</i>)	-	-	-	-	-	-			
PRESERVATION OF HISTORIC BUILDINGS AND SITES COMMITTEE (PHBSC) – Note: see also #9 above									
11) The project meets the requirements of the University's Memorandum of Agreement with the State Division of Historical Resources because <input type="checkbox"/> The site is located adjacent to an Archaeological Site or within an Archaeological Sensitivity Zone (<i>Urban Design, Policy 1.7.1</i>); <u>AND/OR</u> <input type="checkbox"/> The project is new construction or a building addition located within the Historic District or Historic Impact Area depicted on Figure 1-2, Urban Design Element; <u>AND/OR</u> <input type="checkbox"/> The project includes renovation, rehabilitation or restoration of an existing structure that meets the definition of "historic property" described in Policy 1.5.4 of the Facilities Maintenance Element			X			X			
a) If "yes" for new construction or building additions, the project design is sensitive to the orientation and character defining features of existing structures in the Historic Impact Area (<i>Urban Design, Policy 1.7.2</i>); with a building height between 2 and 5 stories not to exceed the height of existing historically significant buildings in close proximity (<i>Urban Design, Policy 1.3.7</i>)			X			X			

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				YES	NO	NA	YES	NO	NA
LAKES, VEGETATION AND LANDSCAPING COMMITTEE (LVLC) – Note: see also #8 above									
12) <input checked="" type="checkbox"/> The project does not reduce the size of an area in the Conservation Future Land Use (Figure 2-1, Future Land Use); <u>OR</u> <input type="checkbox"/> The project mitigates the Conservation Future Land Use change per Conservation, Policy 1.4.11		X			X				
13) <input type="checkbox"/> The project (or any associated utilities or infrastructure) is not adjacent to or within a Conservation Future Land Use; <u>OR</u> <input checked="" type="checkbox"/> The project siting, orientation and landscaping minimize visual impact on the Conservation Area, preserve native vegetation and allow a graduated transition from developed areas to Conservation Areas (<i>Conservation Element, 1.1.4</i>)		X			X				
14) The project minimizes impacts <u>and</u> conforms to the intent of the Conservation Area because the project is for new utilities or infrastructure (including exterior lighting and stormwater facilities) within a Conservation Future Land Use (<i>Conservation, Policies 1.4.8, 1.4.9 and 1.4.10</i>) – <i>Note: LVLC approval recommendation required</i>									
15) <input type="checkbox"/> The project is not within 50-feet of a wetland; <u>OR</u> <input checked="" type="checkbox"/> The project within 50-feet of a wetland minimizes impacts to wetlands and the required wetland buffers; <u>and</u> provides a minimum 35-foot setback and average 50-foot setback; <u>and</u> uses only native plants in a naturalistic landscape design within wetland buffers (<i>Conservation, Policies 1.2.1, 1.2.2, 1.2.3, 1.2.4, and 1.2.5</i>)	X				X				
16) <input type="checkbox"/> The project is not within the 100-year floodplain; <u>OR</u> <input checked="" type="checkbox"/> The project within the 100-year floodplain addresses building elevation, compensating storage and off-site mitigation (<i>Conservation, Policy 1.2.6</i>)		X			X				
17) <input checked="" type="checkbox"/> The project does not disturb any plants or animals identified as threatened and endangered species or species of special concern by federal and state agencies; <u>OR</u> <input type="checkbox"/> The project inventories such species and develops protection or relocation plans in coordination with appropriate local, state and federal agencies (<i>Conservation, Policies 1.3.2 and 1.3.3</i>)									
18) <input type="checkbox"/> The project site does not impact an Open Space Connection identified in Figure 1-4, Urban Design Element ; <u>OR</u> <input checked="" type="checkbox"/> The project maintains, enhances or satisfactorily realigns the open space connection (<i>Urban Design, Policies 1.2.4 and 1.3.2; and Transportation, Policy 2.2.5</i>)	X				X				
19) <input checked="" type="checkbox"/> The project site is not within or adjacent to an Open Space Enhancement Priority area identified in Figure 1-5, Urban Design Element; <u>OR</u> <input type="checkbox"/> The project provides appropriate landscaping, hardscaping, and bicycle/pedestrian open space enhancement for the related Open Space Enhancement Priority area (<i>Urban Design, Policy 1.4.2</i>)	X				X				
20) The project integrates with existing topography and natural features (<i>Urban Design, Policy 1.3.11</i>)									

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				YES	NO	NA	YES	NO	NA
21) The project identifies any potential adverse affects, accommodates any increase in volume of runoff over the pre-development volume for a 72-hour period from the 100-year storm event, and provides a courtesy review to the City of Gainesville because the project is within the Hogtown Creek drainage basin (<i>General Infrastructure Stormwater Sub-Element, Policy 1.3.5</i>)			X			X			
22) The project use trees, plant materials, exterior furniture, paving materials and walls to reinforce spatial organization and create "outdoor rooms" in functional open space adjacent to buildings, within the Urban Park Future Land Use, and along roadways, pedestrian connections and shared-use paths depicted in Figure 1-4 (<i>Urban Design, Policies 1.3.3 and 1.4.1</i>)	-	-	-	-	-	-			
23) Stormwater retention facilities associated with the project (if any) are designed to be natural and curvilinear in outline with variable side slopes, smooth transitions to existing grade and planted with native vegetation (<i>General Infrastructure Stormwater Sub-Element, Policies 1.2.4 and 1.2.5</i>)	-	-	-	-	-	-			
24) The project incorporates Best Management Practices and Low Impact Development design to address stormwater quality and quantity including pollutants, erosion and sedimentation (<i>General Infrastructure Stormwater Sub-Element Policies 1.3.2, 1.3.3, 1.3.4 and 1.4.1</i>)	-	-	-	-	-	-			
25) The project satisfies UF Design & Construction Standards for tree protection, removal, relocation and mitigation (<i>Urban Design, Policies 1.4.9, 1.4.10 and 1.4.12</i>) – Note: LVLC approval recommendation required	-	-	-	-	-	-			
26) The project satisfies UF Design & Construction Standards for landscaping in parking lots and around buildings, and installation is concurrent with the appropriate building construction phase (<i>Urban Design, Policies 1.4.13, 1.4.14 and 1.4.15</i>) – Note: LVLC approval recommendation required	-	-	-	-	-	-			
PARKING AND TRANSPORTATION COMMITTEE (P&TC) – Note: see also #18 and #19 above									
27) The project provides a traffic engineering study with a courtesy review by UF's host local governments because the project includes a parking structure or surface with at least 300 parking spaces located in Alachua County (<i>Transportation, Policy 1.2.2 and 1.2.3</i>)			X			X			
28) <input type="checkbox"/> The project does not result in any significant loss of existing parking; <u>OR</u> <input checked="" type="checkbox"/> The loss of significant existing parking is mitigated - Note: Parking loss mitigation to be negotiated in consultation with the P&TC (<i>Transportation, Policy 2.6.5</i>)	X			X					
29) The project satisfies UF Design & Construction Standards for bicycle parking including quantity, location and lighting with covering as feasible (<i>Transportation, Policy 2.2.6</i>)	-	-	-	-	-	-			
30) <input type="checkbox"/> The project provides hot water showers and lockers for use by bicycle commuters; <u>OR</u> <input type="checkbox"/> The project demonstrates that hot water showers and lockers are infeasible (<i>Transportation, Policy 2.2.13</i>)	-	-	-	-	-	-			
31) The project provides adequate parking to meet the needs of disabled persons, service and delivery vehicles necessitated by the building construction project (<i>Transportation, Policy 2.6.5</i>)	-	-	-	-	--				

REPORT TO THE LAND USE AND FACILITIES PLANNING COMMITTEE

TO:	The LUFPC Committee	FOR:	March 2, 2021 LUFPC meeting
VIA:	Carlos Dounac, Assistant Vice President, PDC	FROM:	Milo Zapata, Project Manager
REQUESTOR:	Facility Operations/Business Services	PRESENTERS:	Milo Zapata and Design/Builder Group

PHASE:	Committee Responsibilities:	STATUS AND PRIOR COMMENTS:	DATE:
PROGRAMMING	<i>The committee will provide preliminary review of the proposed land use and siting options and recommend approval/denial of these options.</i>		
X SCHEMATIC DESIGN	<i>The committee will review and recommend approval/denial of building footprints and initial development of the site plan and exterior building design.</i>	1 st Presentation for approval of building exterior design.	3/2/2021
DESIGN DEVELOPMENT	<i>The committee will review and recommend approval/denial of final architectural design, including landscaping of buildings, building additions/renovations, and utility projects.</i>		

BACKGROUND INFORMATION:

PROJECT:
UF-668, Racquet Club Dining Renovations

SITE:
On Fletcher Drive & East West Road, north of the Infirmary. (location map in presentation).

STATUS:

- This is a “Fast Track” project, delivered in a Design/Build format.
- We are currently finalizing the Program and working towards a GMP deliverable.
- Construction is to begin in March with the completion slated for August 2021.

OBJECTIVES:

- To obtain review/approval of the Revised design for the exterior, east side of the building as per comments received at the LVL committee meeting. Upon LUFPC approval, we will go back to the LVL Committee for approval, at their next meeting on March 11th.

PROJECT PHASE AND PRESENTATION NARRATIVE:

Schematic Design

The Committees are being asked to approve the ‘bump-out’ building addition as shown.

ENCLOSURES:

1. Presentation
2. CMP Checklist

LEVEL
ARCHITECTURE * INTERIORS



VERDEX
CONSTRUCTION



Racquet Club Dining Center Renovation

FLOOR PLAN





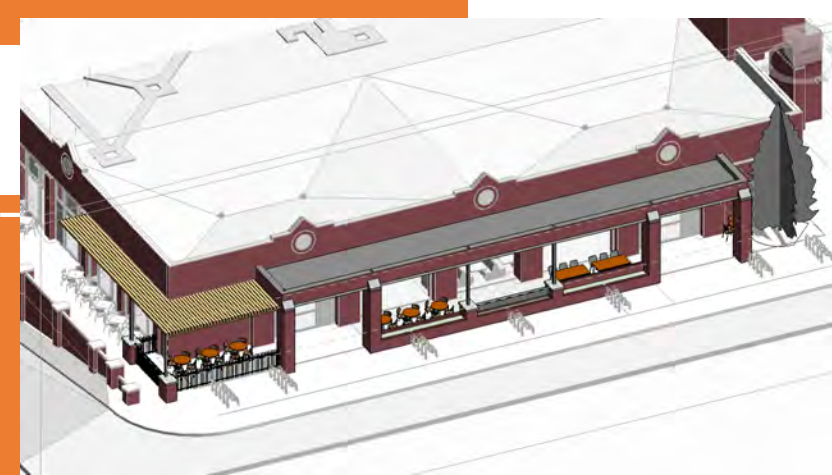


LVL Comments:

- Explore Open-air option
- Incorporate green space
- Engage the street







Campus Master Plan Checklist

To: ULUFPC, LVLC, PHBSC, P&TC DATE: 10/20/20 PROJECT: UF-668 - Racquet Club Dining - Renovations
Prepared by: Erik Lewis FROM: Milo Zapata

This form is to be completed for the applicable phase at the time that the project is reviewed by committees. Do not mark shaded cells in the columns because they do not apply to the review at the specified phase. Checklists should be cumulative so that projects presented at Design Development have all phase columns completed. Design-build projects may omit the Schematic Design phase column. These checklist criteria apply to development on the main campus and, as applicable, on Satellite Properties in Alachua County.

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
UNIVERSITY LAND USE AND FACILITIES PLANNING COMMITTEE (ULUFPC)									
1) The project appears in the Capital Improvements Element, Table 13-1 (Ten-Year Capital Projects List) and Figure 13-1 (Future Building Sites) <input type="checkbox"/> As presented in the adopted Campus Master Plan <input checked="" type="checkbox"/> With edits to Table 13-1 to modify the project GSF or description <input type="checkbox"/> With edits to Figure 13-1 to modify or assign the project site	X						-	-	-
a) If "no" or with edits: The addition or modification of the project in the CMP can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement	X						-	-	-
2) The project is consistent with the Future Land Use designation and definition (<i>Figure 2-1, Future Land Use and Policies 1.1.2 and 1.1.8</i>)	X						-	-	-
a) If "no", the necessary modification to Figure 2-1 (Future Land Use) can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement			X				-	-	-
3) The project location is consistent with policies that direct the location of specific uses (i.e. academic facilities, support/clinical facilities, housing, recreation/open space & parking) (<i>Academic Facilities, Policy 1.2.3; Support/Clinical, Policies 1.1.3, 1.1.4 and 1.1.6; Housing, Policy 1.3.1; Recreation/Open Space, Policies 1.3.1 and 1.3.3; Transportation Policy 2.5.4 and 2.5.6</i>)	X						-	-	-
4) <input checked="" type="checkbox"/> The project is not a temporary building; OR <input type="checkbox"/> The temporary building is located in the Surge Area, Energy Park, Physical Plant Division complex, Academic/Research-Outdoor Future Land Use, or the temporary building supports construction activity (<i>Capital Improvements, Policy 1.1.15</i>)			X	-	-	-	-	-	-
5) The project considers life-cycle costing, pursues principles of sustainable design and/or seeks LEED certification (<i>Capital Improvements, Policy 1.1.14</i>)	X								
6) The building footprint, orientation and setback comply with Policy 1.3.1, Urban Design Element because the project is located with road frontage along Stadium Rd (Gale Lemerand Dr to Buckman Dr), University Ave (Gale Lemerand Dr to SW 13 th St), SW 13 th St, Center Drive, Museum Rd (west of Center Dr. to SW 13 th St), Archer Rd/SW 16 th Ave, or Radio Rd; or within new centers of development (i.e. near Orthopaedics & Sports Med, Cultural Plaza, Southwest Recreation, and near Fifield Hall)		X							

Campus Master Plan Checklist

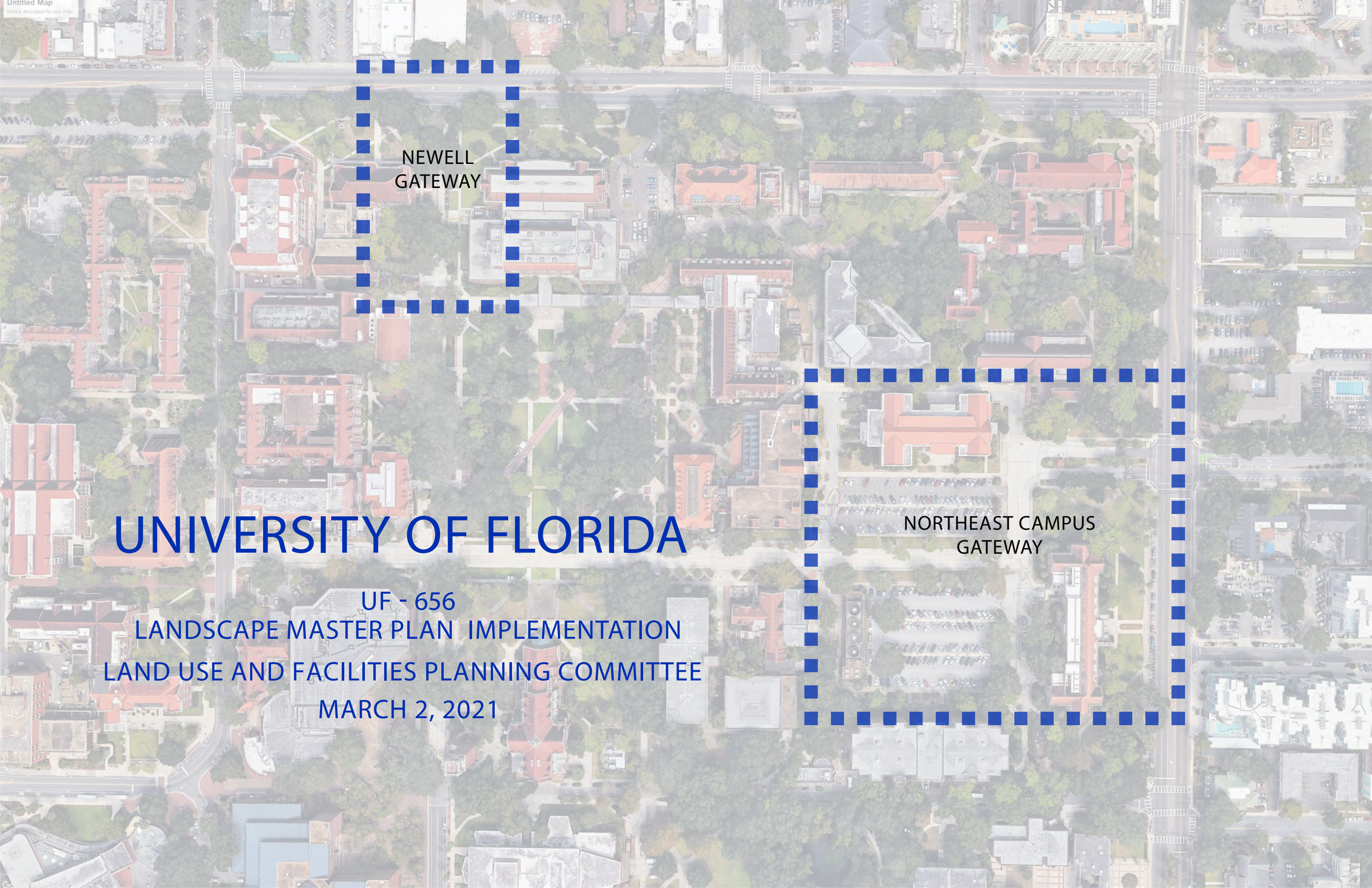
EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
7) The project is a minimum of 3-stories; <u>OR</u> the project demonstrates unique programmatic, functional or code requirements that dictate a variance from the 3-story minimum; <u>OR</u> the project meets alternate building height and design characteristic requirements based on its location in unique areas of campus for which more specific building design requirements apply (i.e. near Orthopaedic & Sports Med, SW Research Circle/Cancer-Genetics area, Fifield Hall area, Cultural Plaza, Radio Road Commuter Lot area, Archer Road Corridor/Planning Sector "G", Historic Impact Area, PKY Developmental Research School and Eastside Campus) (<i>Urban Design, Policy 1.3.4 through 1.3.10</i>); <u>OR</u> the project meets guidance for building height and design of housing facilities (<i>Housing, Policy 1.3.2</i>)			X						
8) The project provides community design integration along campus perimeters as described in Policies 1.2.1 and 1.4.3, Urban Design Element, with respect to landscaping, hardscaping, views, signage, and bicycle/pedestrian accommodation as applicable because the project is located along Gateway Roads identified in Figure 1-6, Urban Design Element (i.e. University Ave, SW 2 nd Ave, SW 13 th St, Archer Rd, and SW 34 th St)	-	-	-						
9) <input type="checkbox"/> The project includes exterior public art; - <i>Note: LVLC and PHBSC (if applicable) approval recommendation required</i> <u>OR</u> <input type="checkbox"/> The project demonstrates that exterior installation of public art is infeasible or undesirable (<i>Urban Design, Policies 1.6.2, 1.6.3 and 1.6.4</i>)	-	-	-						
10) Utilities and associated support structures are installed underground or are appropriately screened from view by decorative architectural walls or landscaping (<i>Electric Power and Other Fuels Sub-Element, Policy 2.1.7 and 2.1.8</i>)	-	-	-						
PRESERVATION OF HISTORIC BUILDINGS AND SITES COMMITTEE (PHBSC) – Note: see also #9 above									
11) The project meets the requirements of the University's Memorandum of Agreement with the State Division of Historical Resources because <input type="checkbox"/> The site is located adjacent to an Archaeological Site or within an Archaeological Sensitivity Zone (<i>Urban Design, Policy 1.7.1</i>); <u>AND/OR</u> <input checked="" type="checkbox"/> The project is new construction or a building addition located within the Historic District or Historic Impact Area depicted on Figure 1-2, Urban Design Element; <u>AND/OR</u> <input type="checkbox"/> The project includes renovation, rehabilitation or restoration of an existing structure that meets the definition of "historic property" described in Policy 1.5.4 of the Facilities Maintenance Element	X								
a) If "yes" for new construction or building additions, the project design is sensitive to the orientation and character defining features of existing structures in the Historic Impact Area (<i>Urban Design, Policy 1.7.2</i>); with a building height between 2 and 5 stories not to exceed the height of existing historically significant buildings in close proximity (<i>Urban Design, Policy 1.3.7</i>)			X						

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				YES	NO	NA	YES	NO	NA
LAKES, VEGETATION AND LANDSCAPING COMMITTEE (LVLC) – Note: see also #8 above									
12) <input checked="" type="checkbox"/> The project does not reduce the size of an area in the Conservation Future Land Use (Figure 2-1, Future Land Use); <u>OR</u> <input type="checkbox"/> The project mitigates the Conservation Future Land Use change per Conservation, Policy 1.4.11	X								
13) <input checked="" type="checkbox"/> The project (or any associated utilities or infrastructure) is not adjacent to or within a Conservation Future Land Use; <u>OR</u> <input type="checkbox"/> The project siting, orientation and landscaping minimize visual impact on the Conservation Area, preserve native vegetation and allow a graduated transition from developed areas to Conservation Areas (<i>Conservation Element, 1.1.4</i>)	X								
14) The project minimizes impacts <u>and</u> conforms to the intent of the Conservation Area because the project is for new utilities or infrastructure (including exterior lighting and stormwater facilities) within a Conservation Future Land Use (<i>Conservation, Policies 1.4.8, 1.4.9 and 1.4.10</i>) – <i>Note: LVLC approval recommendation required</i>			X						
15) <input checked="" type="checkbox"/> The project is not within 50-feet of a wetland; <u>OR</u> <input type="checkbox"/> The project within 50-feet of a wetland minimizes impacts to wetlands and the required wetland buffers; <u>and</u> provides a minimum 35-foot setback and average 50-foot setback; <u>and</u> uses only native plants in a naturalistic landscape design within wetland buffers (<i>Conservation, Policies 1.2.1, 1.2.2, 1.2.3, 1.2.4, and 1.2.5</i>)	X								
16) <input checked="" type="checkbox"/> The project is not within the 100-year floodplain; <u>OR</u> <input type="checkbox"/> The project within the 100-year floodplain addresses building elevation, compensating storage and off-site mitigation (<i>Conservation, Policy 1.2.6</i>)	X								
17) <input checked="" type="checkbox"/> The project does not disturb any plants or animals identified as threatened and endangered species or species of special concern by federal and state agencies; <u>OR</u> <input type="checkbox"/> The project inventories such species and develops protection or relocation plans in coordination with appropriate local, state and federal agencies (<i>Conservation, Policies 1.3.2 and 1.3.3</i>)	X								
18) <input checked="" type="checkbox"/> The project site does not impact an Open Space Connection identified in Figure 1-4, Urban Design Element ; <u>OR</u> <input type="checkbox"/> The project maintains, enhances or satisfactorily realigns the open space connection (<i>Urban Design, Policies 1.2.4 and 1.3.2; and Transportation, Policy 2.2.5</i>)	X								
19) <input checked="" type="checkbox"/> The project site is not within or adjacent to an Open Space Enhancement Priority area identified in Figure 1-5, Urban Design Element; <u>OR</u> <input type="checkbox"/> The project provides appropriate landscaping, hardscaping, and bicycle/pedestrian open space enhancement for the related Open Space Enhancement Priority area (<i>Urban Design, Policy 1.4.2</i>)	X								
20) The project integrates with existing topography and natural features (<i>Urban Design, Policy 1.3.11</i>)			X			X			X

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD					
				SCHEMATIC DESIGN			DESIGN DEVELOPMENT		
				YES	NO	NA	YES	NO	NA
21) The project identifies any potential adverse affects, accommodates any increase in volume of runoff over the pre-development volume for a 72-hour period from the 100-year storm event, and provides a courtesy review to the City of Gainesville because the project is within the Hogtown Creek drainage basin (<i>General Infrastructure Stormwater Sub-Element, Policy 1.3.5</i>)			X			X			X
22) The project use trees, plant materials, exterior furniture, paving materials and walls to reinforce spatial organization and create "outdoor rooms" in functional open space adjacent to buildings, within the Urban Park Future Land Use, and along roadways, pedestrian connections and shared-use paths depicted in Figure 1-4 (<i>Urban Design, Policies 1.3.3 and 1.4.1</i>)	-	-	-						
23) Stormwater retention facilities associated with the project (if any) are designed to be natural and curvilinear in outline with variable side slopes, smooth transitions to existing grade and planted with native vegetation (<i>General Infrastructure Stormwater Sub-Element, Policies 1.2.4 and 1.2.5</i>)	-	-	-						
24) The project incorporates Best Management Practices and Low Impact Development design to address stormwater quality and quantity including pollutants, erosion and sedimentation (<i>General Infrastructure Stormwater Sub-Element Policies 1.3.2, 1.3.3, 1.3.4 and 1.4.1</i>)	-	-	-						
25) The project satisfies UF Design & Construction Standards for tree protection, removal, relocation and mitigation (<i>Urban Design, Policies 1.4.9, 1.4.10 and 1.4.12</i>) – Note: LVLC approval recommendation required	-	-	-						
26) The project satisfies UF Design & Construction Standards for landscaping in parking lots and around buildings, and installation is concurrent with the appropriate building construction phase (<i>Urban Design, Policies 1.4.13, 1.4.14 and 1.4.15</i>) – Note: LVLC approval recommendation required	-	-	-						
PARKING AND TRANSPORTATION COMMITTEE (P&TC) – Note: see also #18 and #19 above									
27) The project provides a traffic engineering study with a courtesy review by UF's host local governments because the project includes a parking structure or surface with at least 300 parking spaces located in Alachua County (<i>Transportation, Policy 1.2.2 and 1.2.3</i>)			X						
28) <input checked="" type="checkbox"/> The project does not result in any significant loss of existing parking; <u>OR</u> <input type="checkbox"/> The loss of significant existing parking is mitigated - Note: Parking loss mitigation to be negotiated in consultation with the P&TC (<i>Transportation, Policy 2.6.5</i>)	X								
29) The project satisfies UF Design & Construction Standards for bicycle parking including quantity, location and lighting with covering as feasible (<i>Transportation, Policy 2.2.6</i>)	-	-	-						
30) <input type="checkbox"/> The project provides hot water showers and lockers for use by bicycle commuters; <u>OR</u> <input type="checkbox"/> The project demonstrates that hot water showers and lockers are infeasible (<i>Transportation, Policy 2.2.13</i>)	-	-	-						
31) The project provides adequate parking to meet the needs of disabled persons, service and delivery vehicles necessitated by the building construction project (<i>Transportation, Policy 2.6.5</i>)	-	-	-						

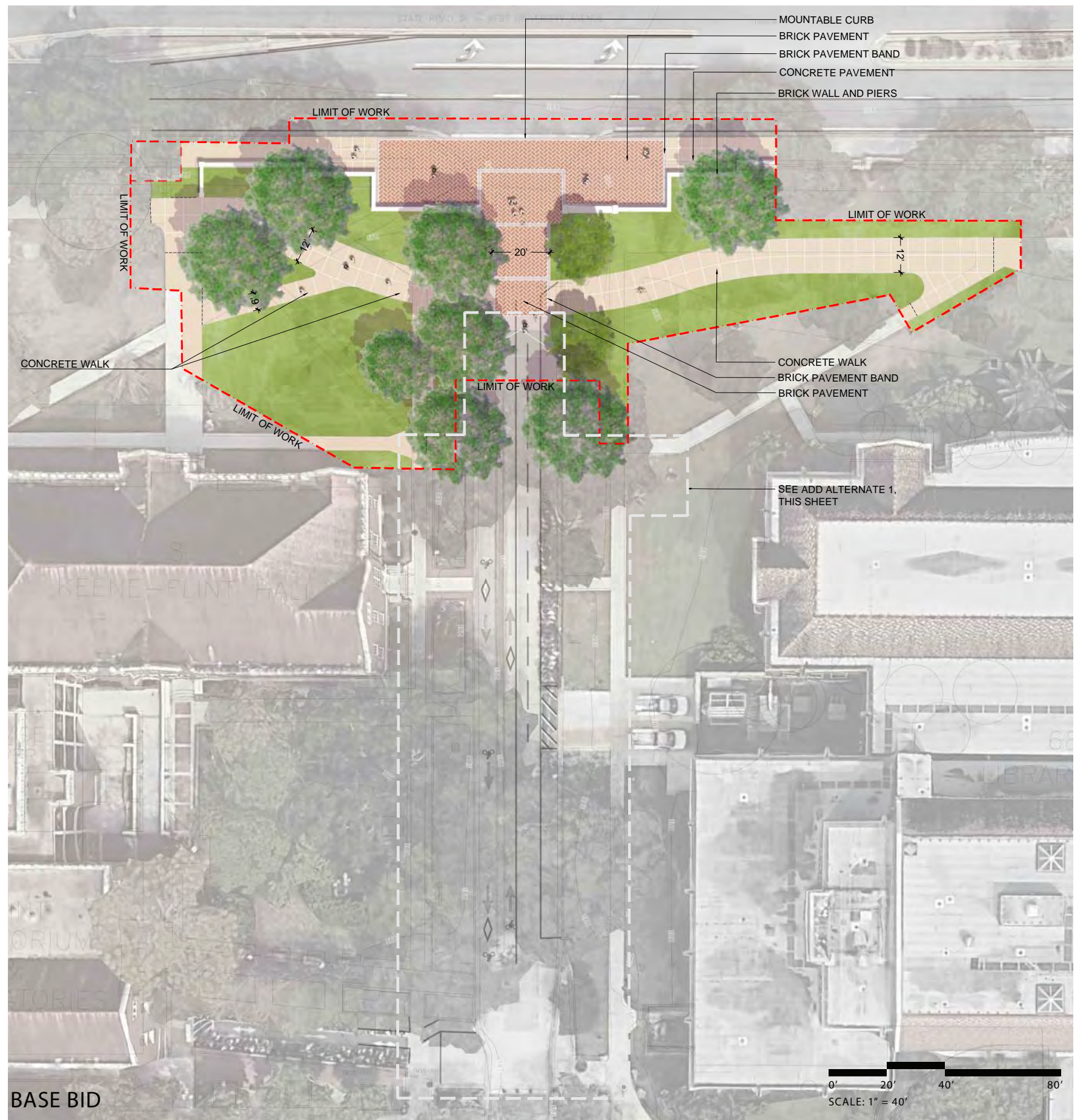
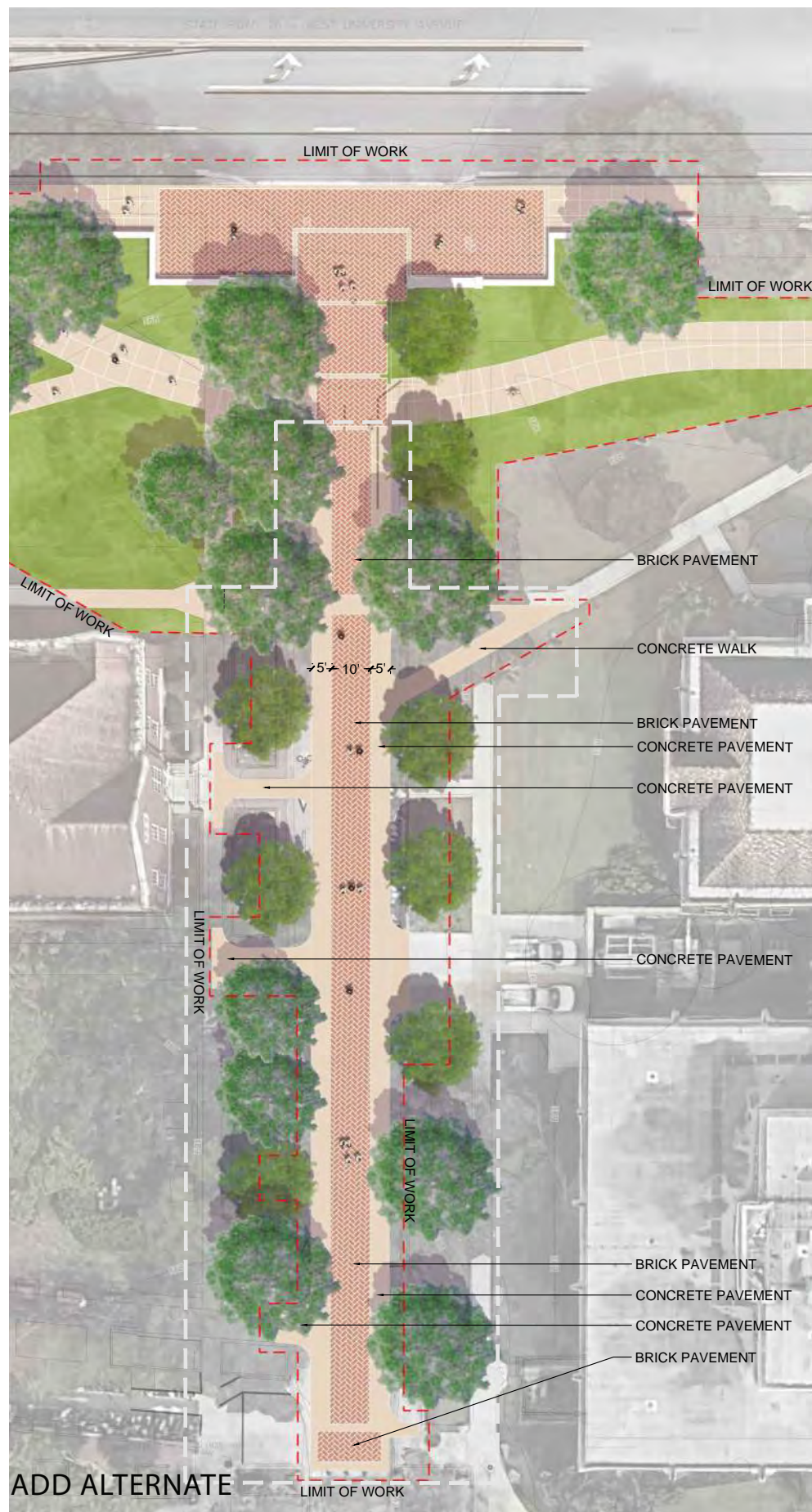


NEWELL
GATEWAY

NORTHEAST CAMPUS
GATEWAY

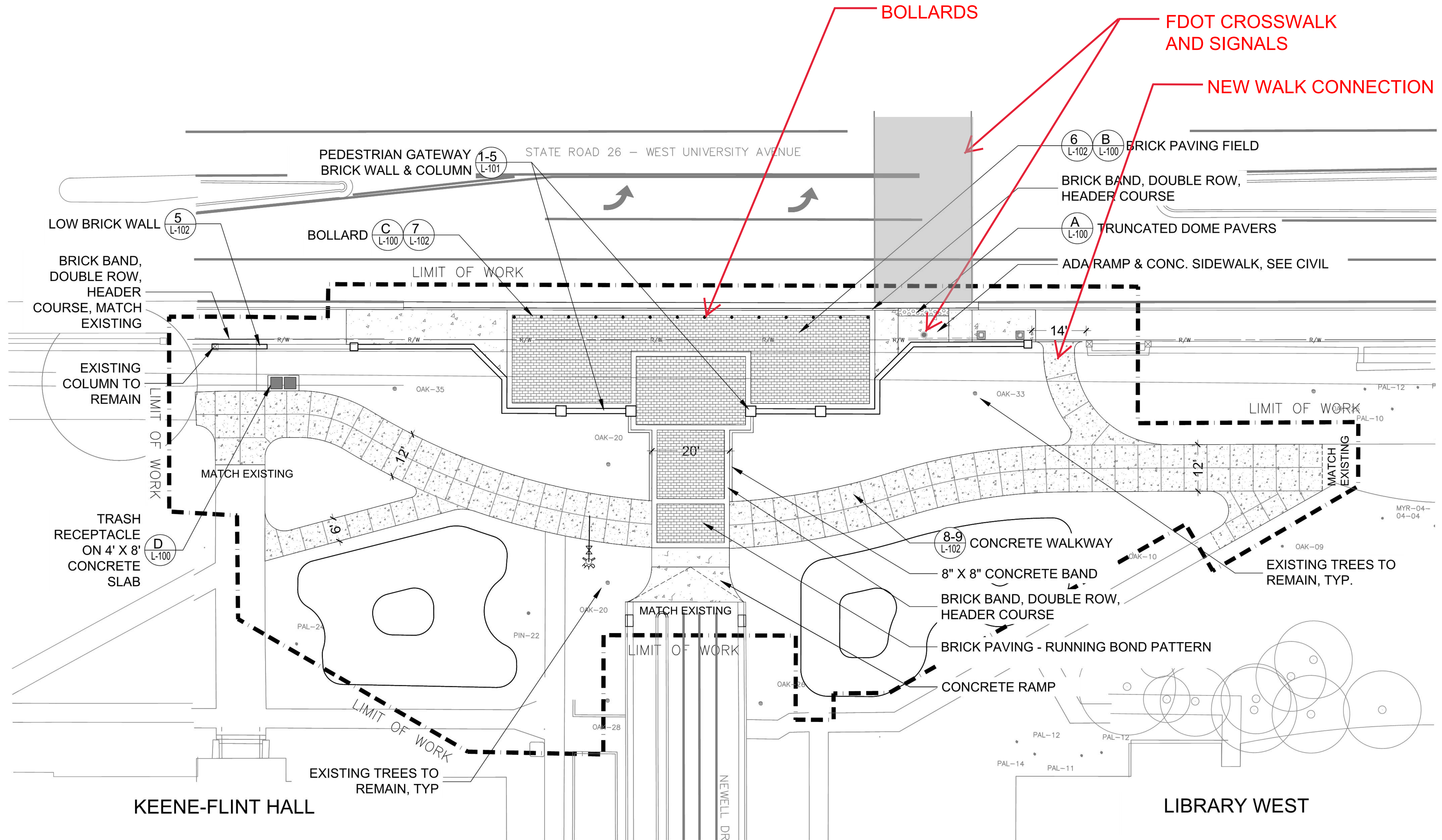
UNIVERSITY OF FLORIDA

UF - 656
LANDSCAPE MASTER PLAN IMPLEMENTATION
LAND USE AND FACILITIES PLANNING COMMITTEE
MARCH 2, 2021



NEWELL GATEWAY

Z:\2020\200265.00 - UF LMP IMPLEMENTATION\CAD\PRODUCTION DRAWINGS\L-100 HARDSCAPE.DWG
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**COMMUNITY
SOLUTIONS
GROUP**

618 E. SOUTH STREET
SUITE 700
ORLANDO, FL 32801
407 423-8398

CERTIFICATE OF AUTHORIZATION: EB9951

UF UNIVERSITY of
FLORIDA

PROJECT
UNIVERSITY OF
FLORIDA

LANDSCAPE
MASTER PLAN
IMPLEMENTATION

UF656
GAINESVILLE, FL

DESIGN
DEVELOPMENT

CONSULTANTS

REGISTRATION

REVISIONS:

PROJECT NUMBER R200265.00

SCALE:

DATE: 01/06/2021

DRAWN: AP

CHECKED: FB

APPROVED:

SCALE & NORTH ARROW



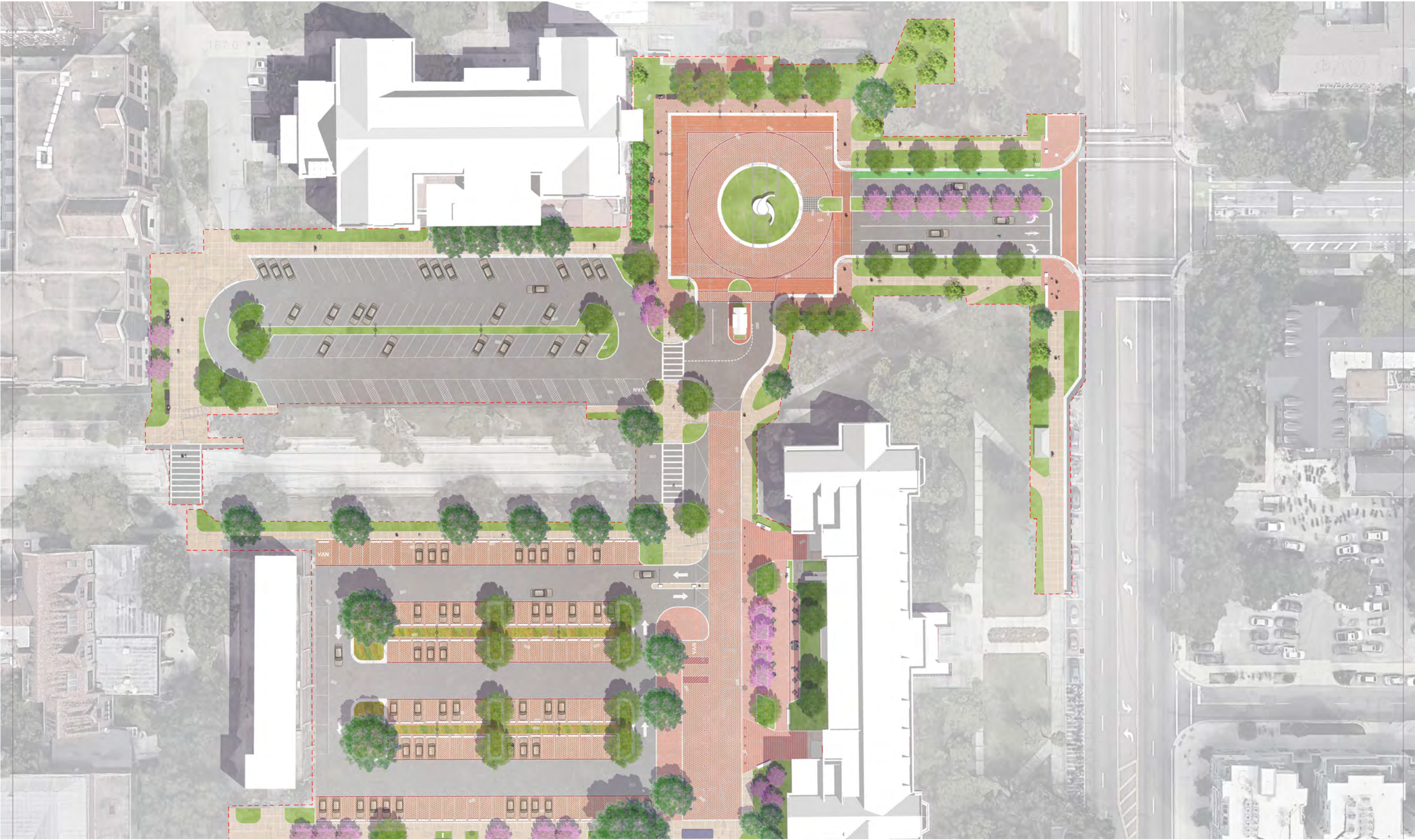
SHEET TITLE
NEWELL GATEWAY
HARDSCAPE PLAN
SHEET NUMBER

L-100

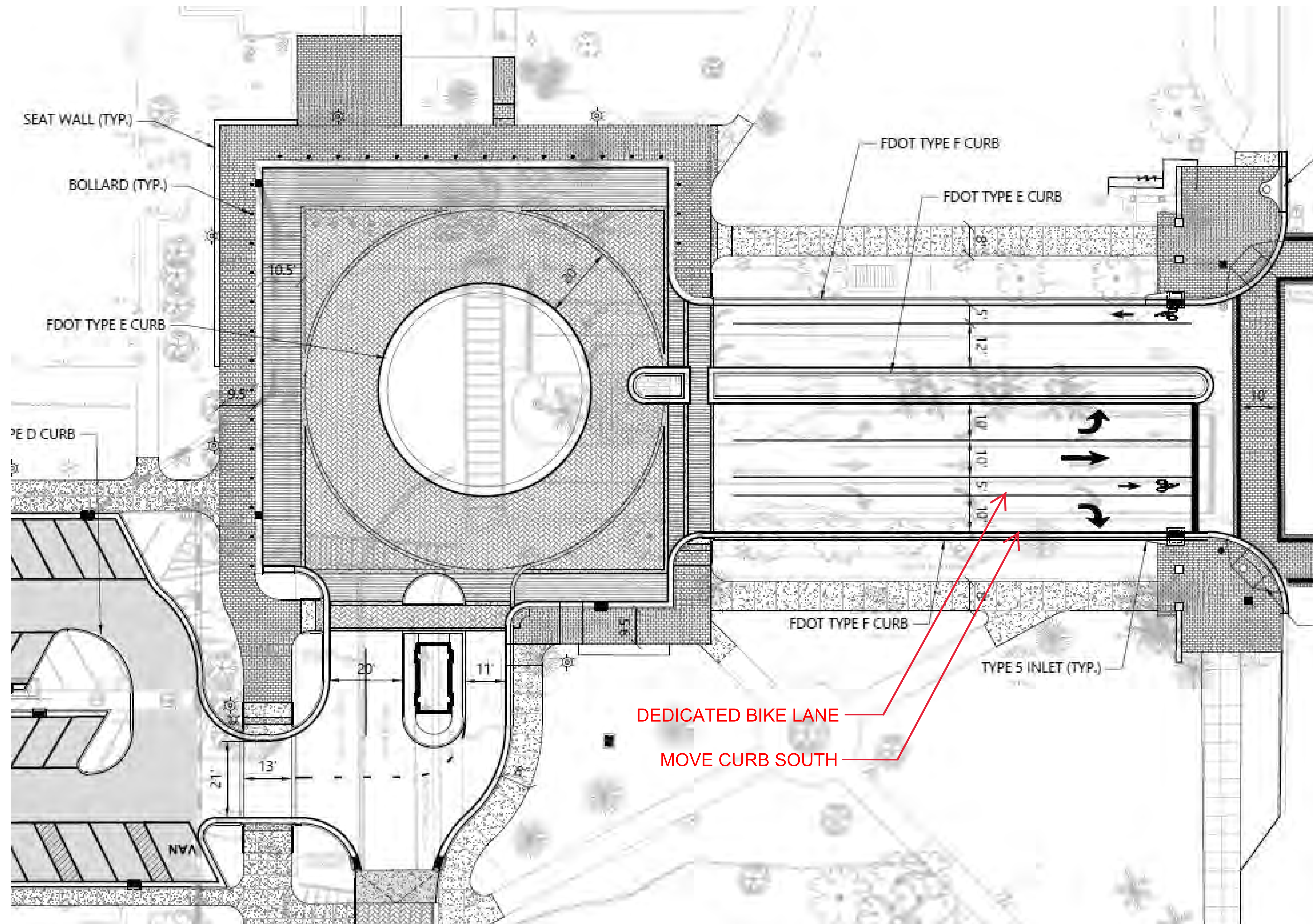
A GAI CONSULTANTS, INC SERVICE GROUP



NEWELL GATEWAY PERSPECTIVE



NORTHEAST GATEWAY



DEDICATED BIKE LANE

MOVE CURB SOUTH

\\BBS\GBL\PROJ\ORLANDO\63727.00 UF-LMP-TIGERT COURT\CAD\LD\PLAN\MISC\2021-02-03 BIKE LANE ADDITION\63727.00-LM.DWG



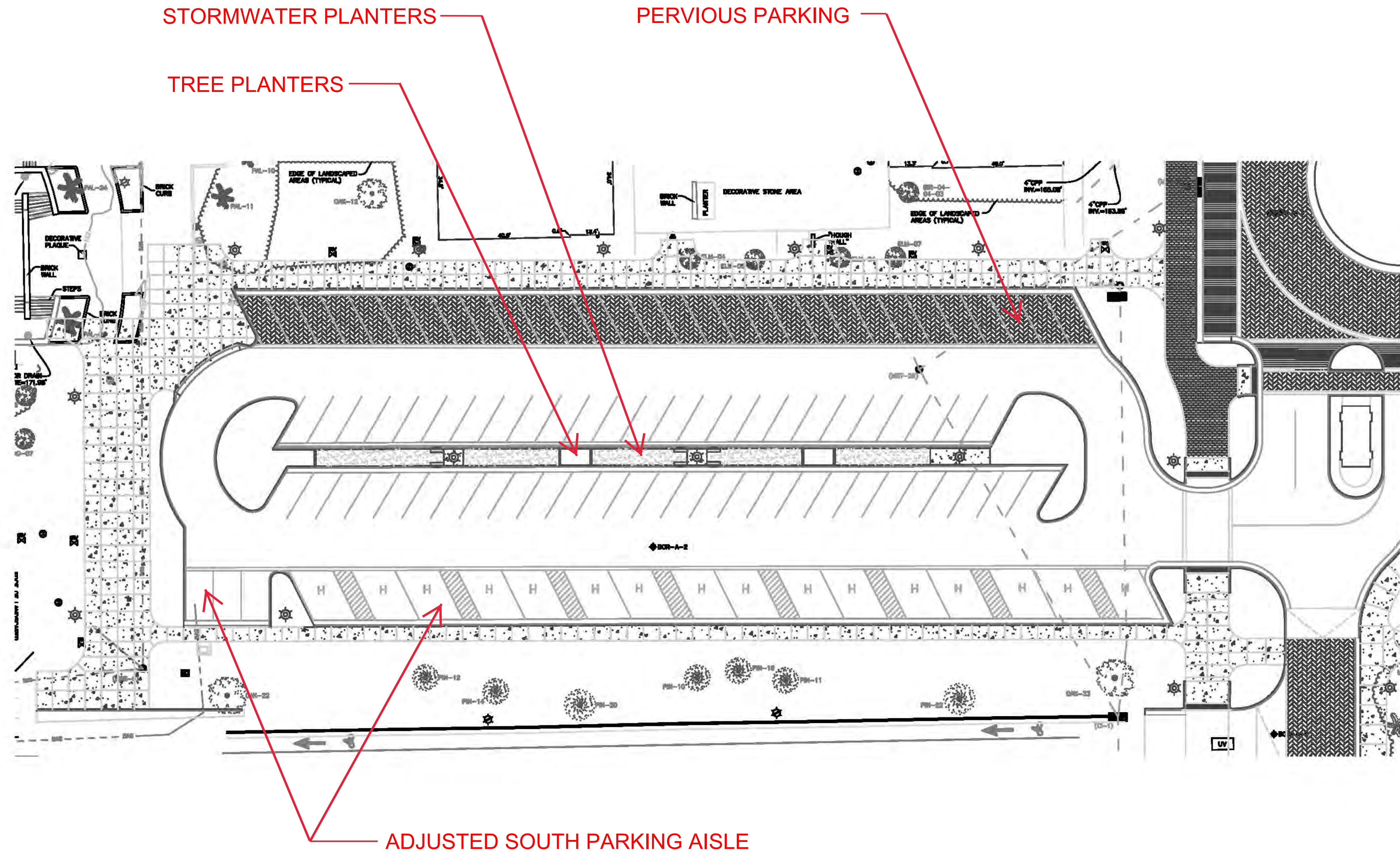
- CAMPUS
STANDARD
LIGHT
- BRICK ENTRY
WALL & PIER
- BRICK
PAVEMENT
- FLOWERING
TREES & ISLAND
PLANTING
- PROPOSED
TREE PLANTING

NORTHEAST GATEWAY - ENTRANCE

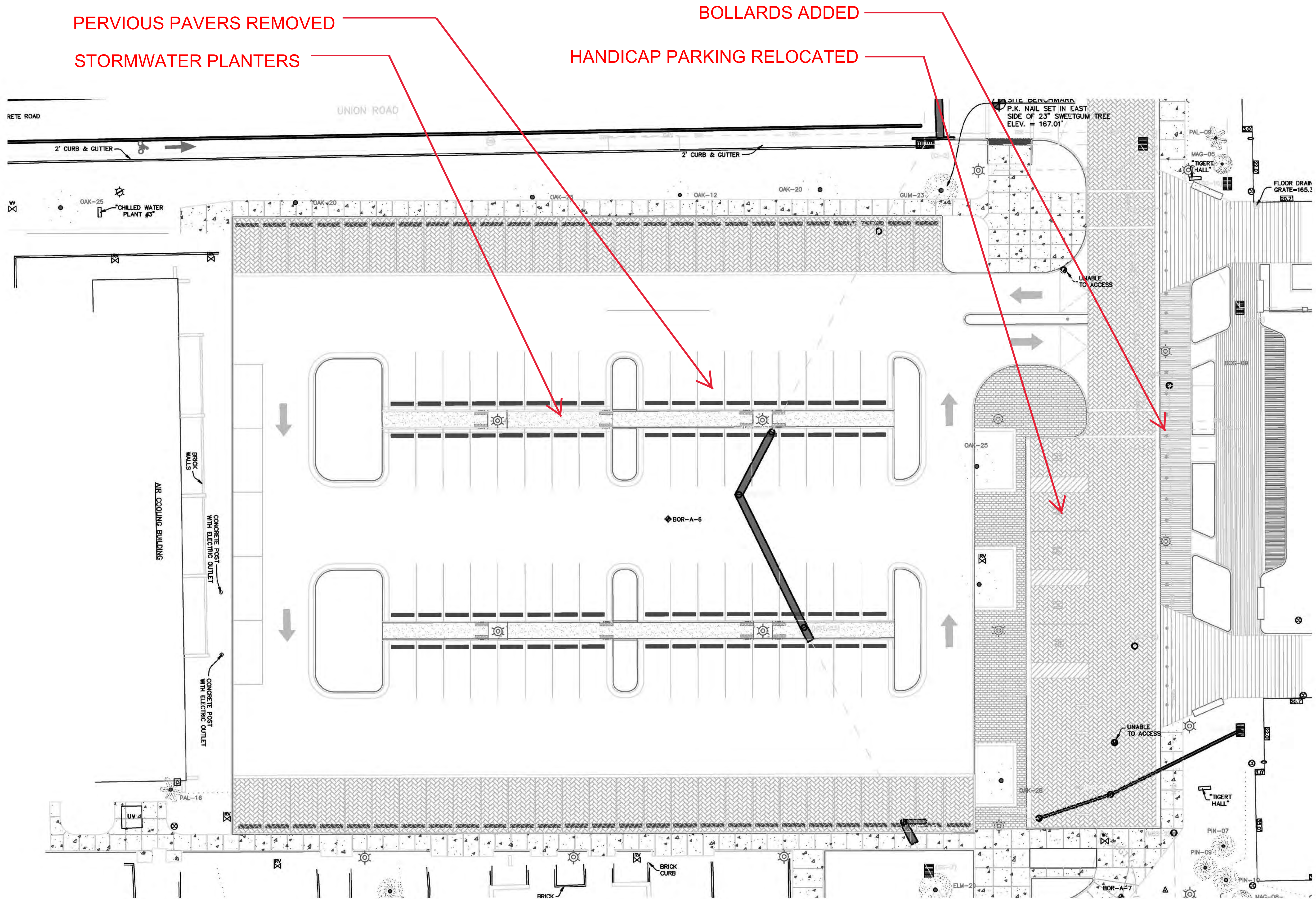


- NEW GUARDHOUSE
- CAMPUS STANDARD LIGHT
- PLANTED ISLAND WITH SCULPTURE
- CAMPUS STANDARD BOLLARDS
- VEHICULAR BRICK PAVEMENT AND BANDING
- BRICK PAVEMENT

NORTHEAST GATEWAY - AUTOCOURT



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This drawing was produced with computer aided drafting technology and is supported by electronic drawing files. Do not revise this drawing via manual drafting methods.





VEHICULAR BRICK
PAVEMENT

CAMPUS STANDARD
TABLES AND CHAIRS

PROPOSED TREE
PLANTING

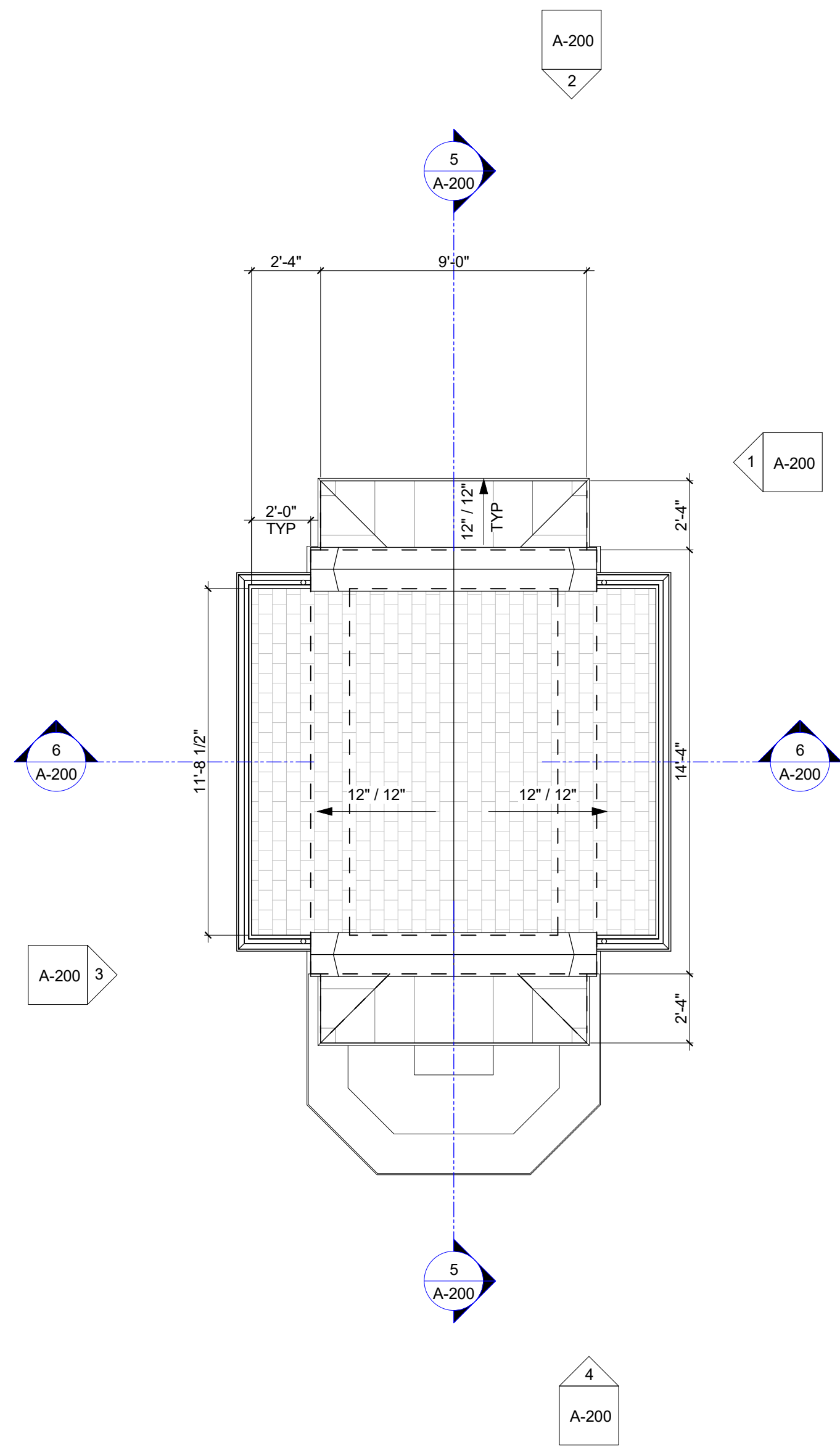
NEW SHRUB PLANTING

BRICK PLANTER CURB

CAMPUS STANDARD
BRICK, TYPE 1

CAMPUS STANDARD
BRICK, TYPE 2

NORTHEAST GATEWAY - GATHERING SPACE AT TIGERT HALL

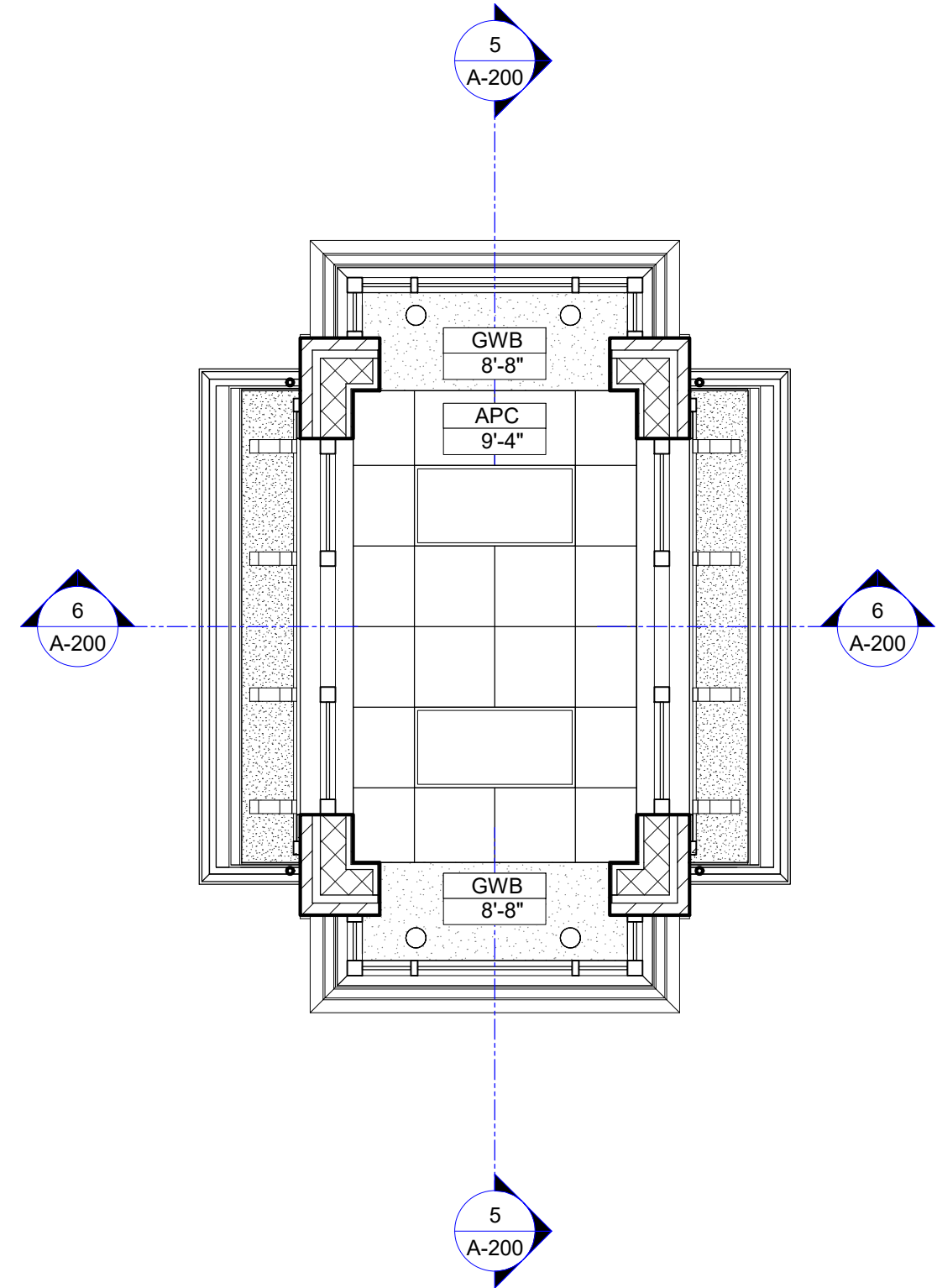


3 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN SHEET NOTES

1. XXXXXXXX

KEYNOTE LEGEND



2 CEILING PLAN
1/4" = 1'-0"

CEILING PLAN SHEET NOTES

1. CEILING ELEMENTS (LIGHTS, GRILLS, ETC...) SHOWN FOR LOCATION AND COORDINATION.
2. COORDINATE LOCATION, SIZE, AND REQUIREMENTS OF CEILING ELEMENTS WITH ARCHITECT DOCUMENTS.
3. SUSPENDED TILE CEILING GRIDS SHALL BE SET WITH EITHER A FULL TILE OR A GRID INTERSECTION OCCURRING AT THE CENTER OF THE CEILING EXPOSED SO AS TO ACHIEVE TILES OF EQUAL WIDTH AT OPPOSING SIDES OF THE CEILING. NO CUTTING OR TRIMMING OF MATERIAL SHALL RESULT IN A TILE AT ANY PERIMETER EDGE OF LESS THAN 4 INCHES IN WIDTH.
4. IMMEDIATELY BRING DISCREPANCIES TO THE ARCHITECT'S ATTENTION.
5. IN ACOUSTICAL PANEL CEILINGS, CEILING ELEMENTS IN PANELS.
6. IN GYPSUM PLANK BOARD CEILINGS ALIGN CEILING ELEMENTS WITH ADJACENT CEILING ELEMENTS.
7. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS (SUCH AS GYPSUM BOARD) WHERE REQUIRED FOR ACCESS TO SERVICEABLE MECHANICAL, ELECTRICAL, OR PLUMBING DEVICES. PROVIDE COORDINATED ACCESS PANEL LOCATION AND SHOP DRAWING FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.

CEILING LEGEND

CEILING TAG

APC-1
9'-0"

CEILING FINISH
HEIGHT AFF

RECESSED DOWNLIGHTS

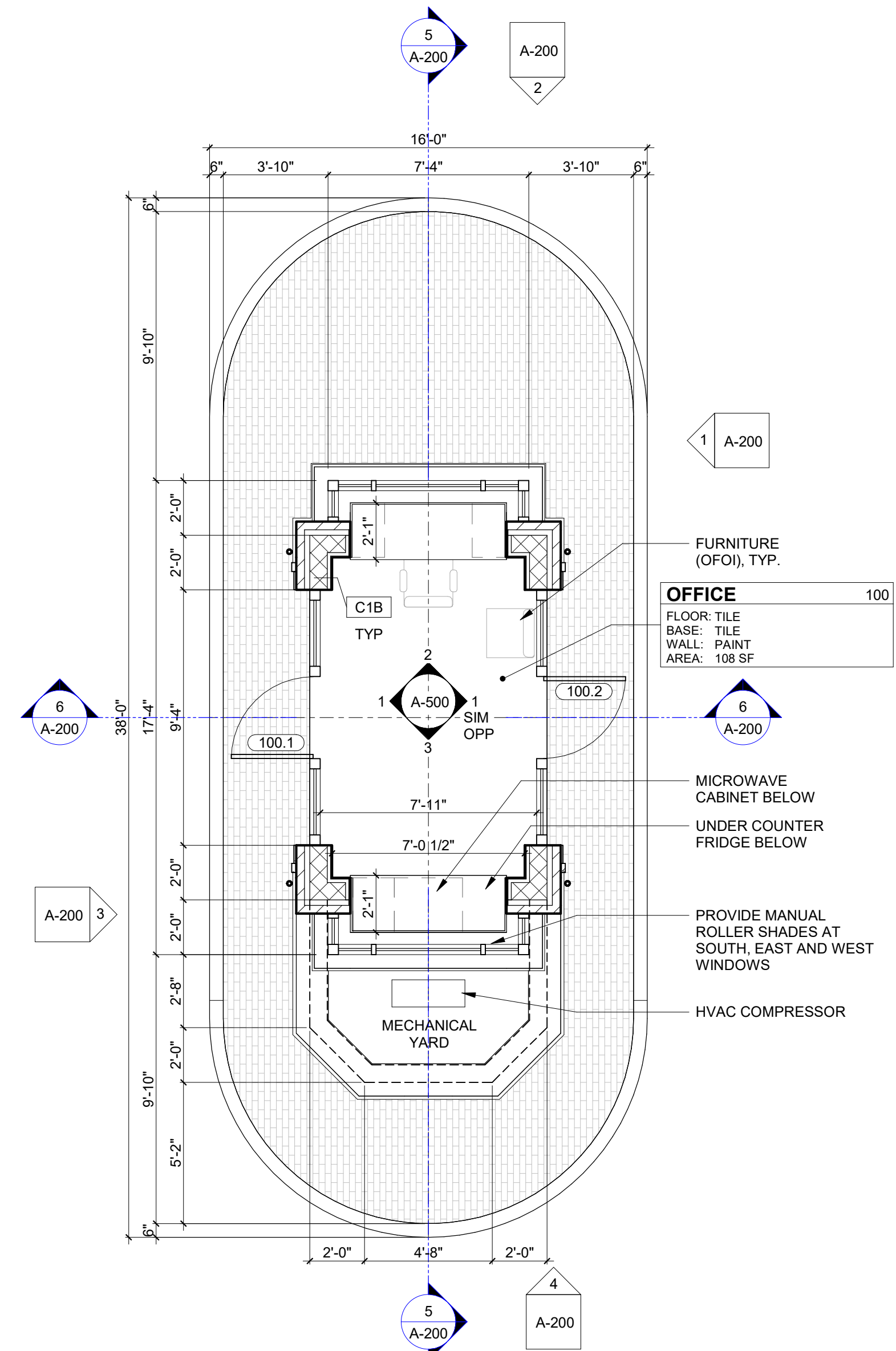
2'x2' CEILING GRID

1'x4', 2'x4' & 2'x2'
RECESSED LIGHT FIXTURE

GWB CEILING

HVAC
TERMINALS

SUPPLY RETURN EXHAUST



1 FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

1. SEE WALL SECTIONS FOR EXTERIOR WALL ASSEMBLY INFORMATION.
2. PROVIDE IN WALL BACKING FOR WALL MOUNTED ITEMS.
3. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
 - A. CENTERLINE - CENTER OF PARTITION ALIGNS WITH A STRUCTURAL GRIDLINE OR OBJECT CENTERLINE (SUCH AS WINDOW MULLION OR COLUMN).
 - B. ALIGN - LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD OR OTHER SURFACE INDICATED.
4. PARTITION DIMENSIONS NOTED AS "MINIMUM" OR "CLEAR"
 - A. PROVIDE MINIMUM 1'-0" CLEAR AT PUSH SIDES OF DOORS AND 1'-6" CLEAR AT PULL SIDES OF DOORS UNLESS INDICATED OTHERWISE.

FINISHES NOTES

1. AREAS SHOWN IN ROOM IDENTIFICATION TAGS ARE FOR REFERENCE ONLY. DO NOT USE THESE AREAS FOR TAKE-OFFS.
2. PAINT ALL WALL SURFACES, SOFFITS, AND CEILINGS UNLESS OTHERWISE INDICATED.
3. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS OTHERWISE INDICATED.

FINISH ABBREVIATIONS AND CODES

CODE	FINISH
APC	ACOUSTIC PANEL CEILING
CPT	CARPET TILE
P	PAINT
L	HIGH PRESSURE LAMINATE
RB	RESILIENT BASE
RF	RESILIENT FLOORING
SCONC	SEALED CONCRETE
SSM	SOLID SURFACE MATERIAL
T	TILE
WD	WOOD
WS	WINDOW SHADE



