REPORT TO THE PRESERVATION OF HISTORIC BUILDINGS & SITES COMMITTEE

TO:	The PHBS Committee	**FOR:**	February 16, 2021 PHBSC meeting.
VIA:	Carlos Dougnac, Assistant Vice President, PDC	**FROM:**	Milo Zapata, Project Manager
REQUESTOR:	Facility Operations/Business Services	**PRESENTERS:**	Milo Zapata and Design/Builder Group

	PHASE:	Committee Responsibilities:	STATUS AND PRIOR COMMENTS:	DATE:
	PROGRAMMING	*The committee will evaluate general site suitability in relation to Federal & State obligations and University policies for historic and archeological preservation.*		
X	SCHEMATIC DESIGN	*The committee will assess conformance with Federal, State and University standards for siting within historic sites, and addition to and renovation of historic building.*	1st Presentation for approval	2/16/2021
	DESIGN DEVELOPMENT	*The committee will evaluate of appropriateness of design features and details.*		

BACKGROUND INFORMATION:

PROJECT:
UF-668, Racquet Club Dining Renovations

SITE:
On Fletcher Drive & East West Road, north of the Infirmary (location map in presentation).

STATUS:
- This is a "Fast Track" project, delivered in a Design/Build format.
- We are currently finalizing the Program and working towards a GMP deliverable.
- Construction is to begin in March with the completion slated for August 2021.

OBJECTIVES:
- To obtain review/approval for the bump out on the east elevation of the building.

PROJECT PHASE AND PRESENTATION NARRATIVE:
Design Development

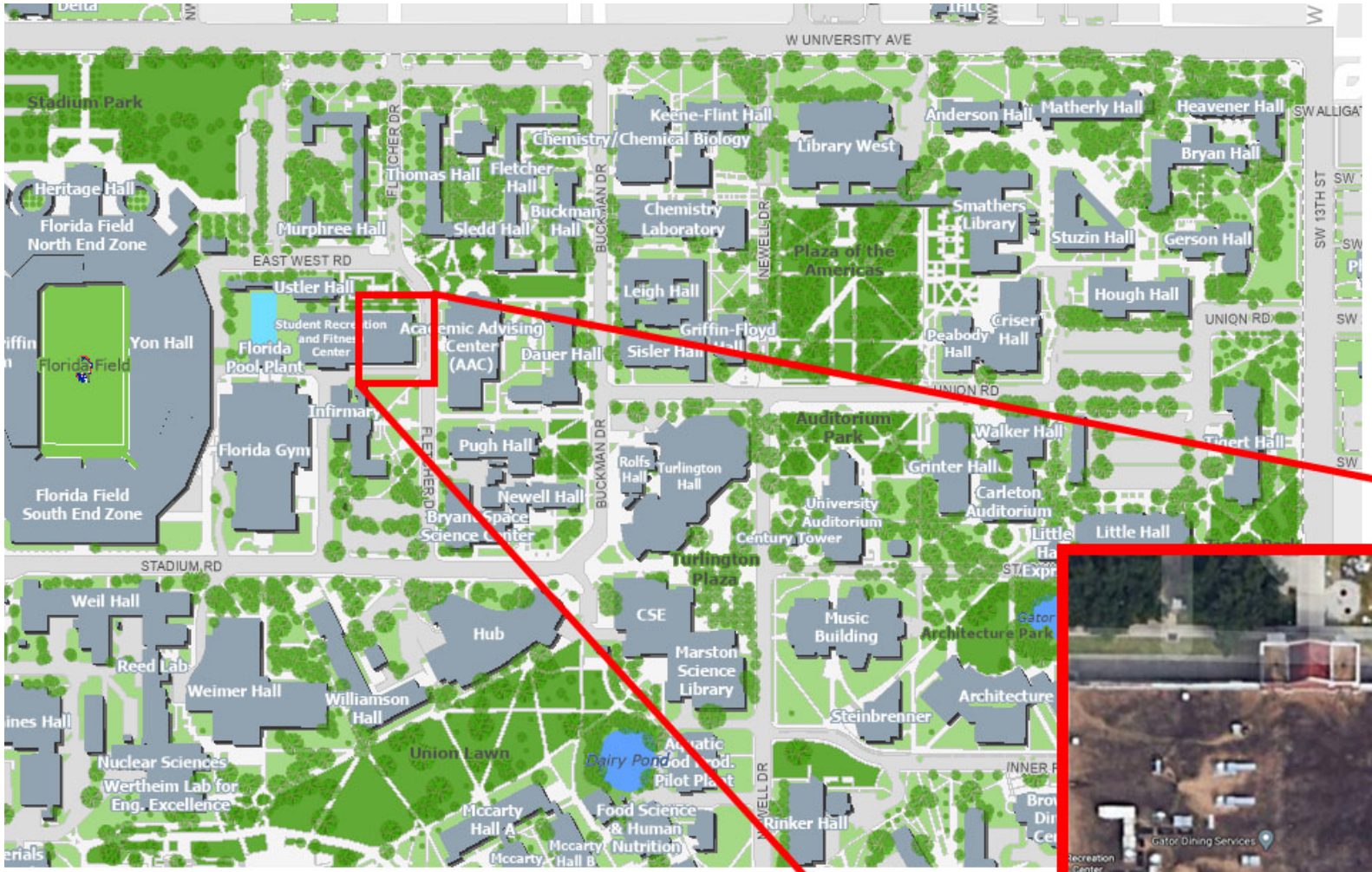
The Committees are being asked to approve the 'bump-out' building addition as shown.

ENCLOSURES:
1. Presentation
2. CMP Checklist

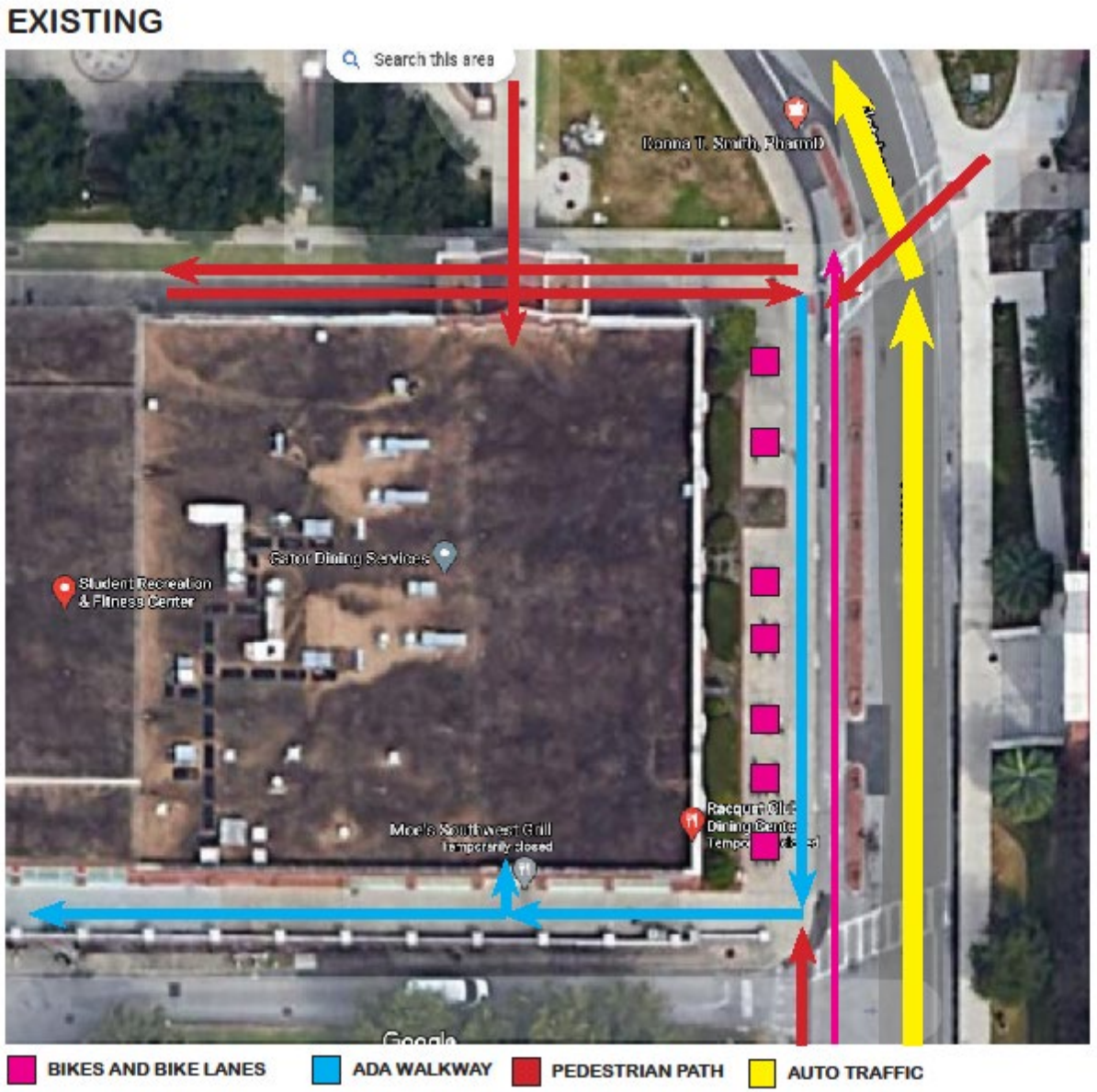
UF-668

Racquet Club Dining Center Renovation

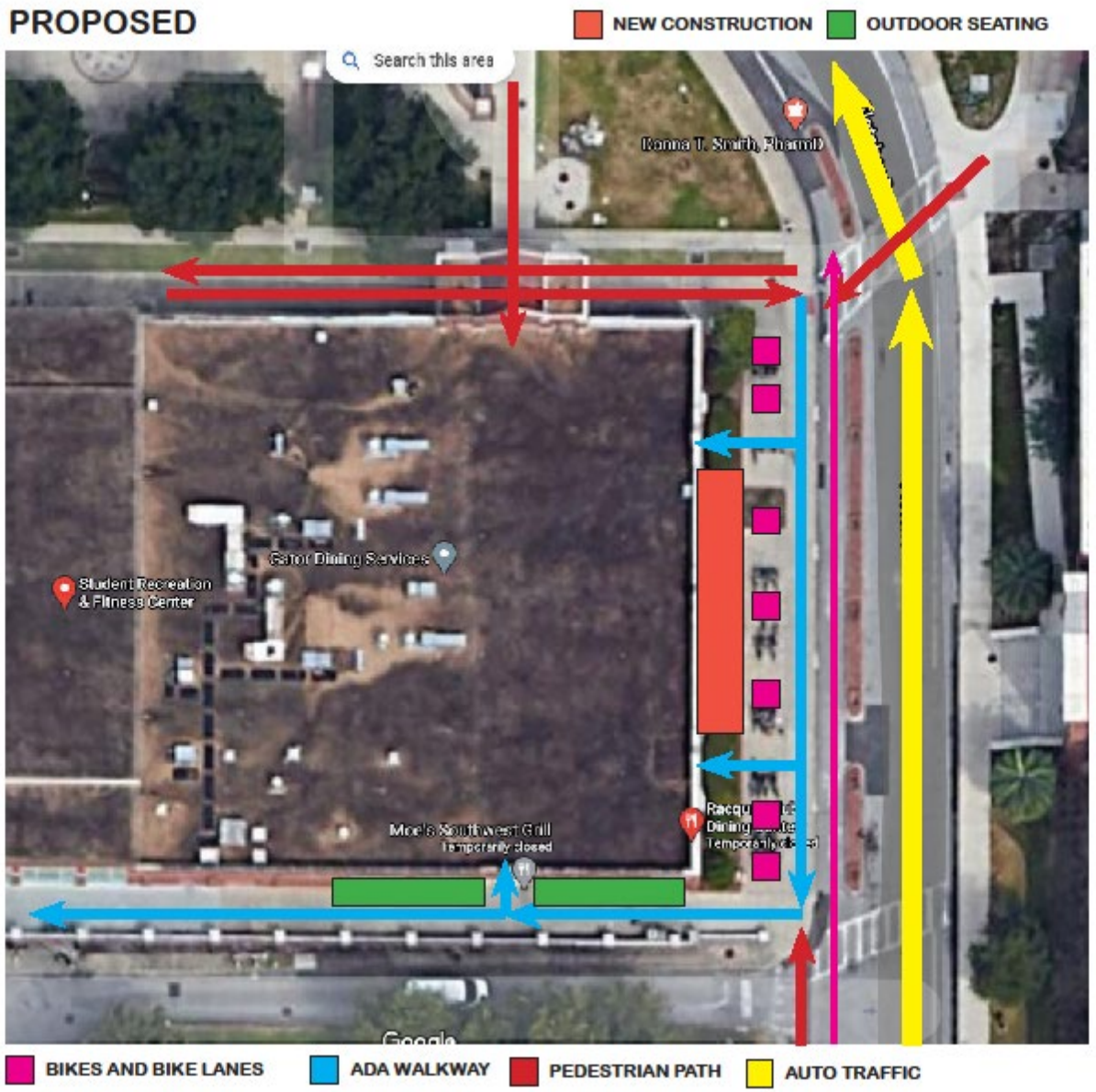
PROJECT LOCATION



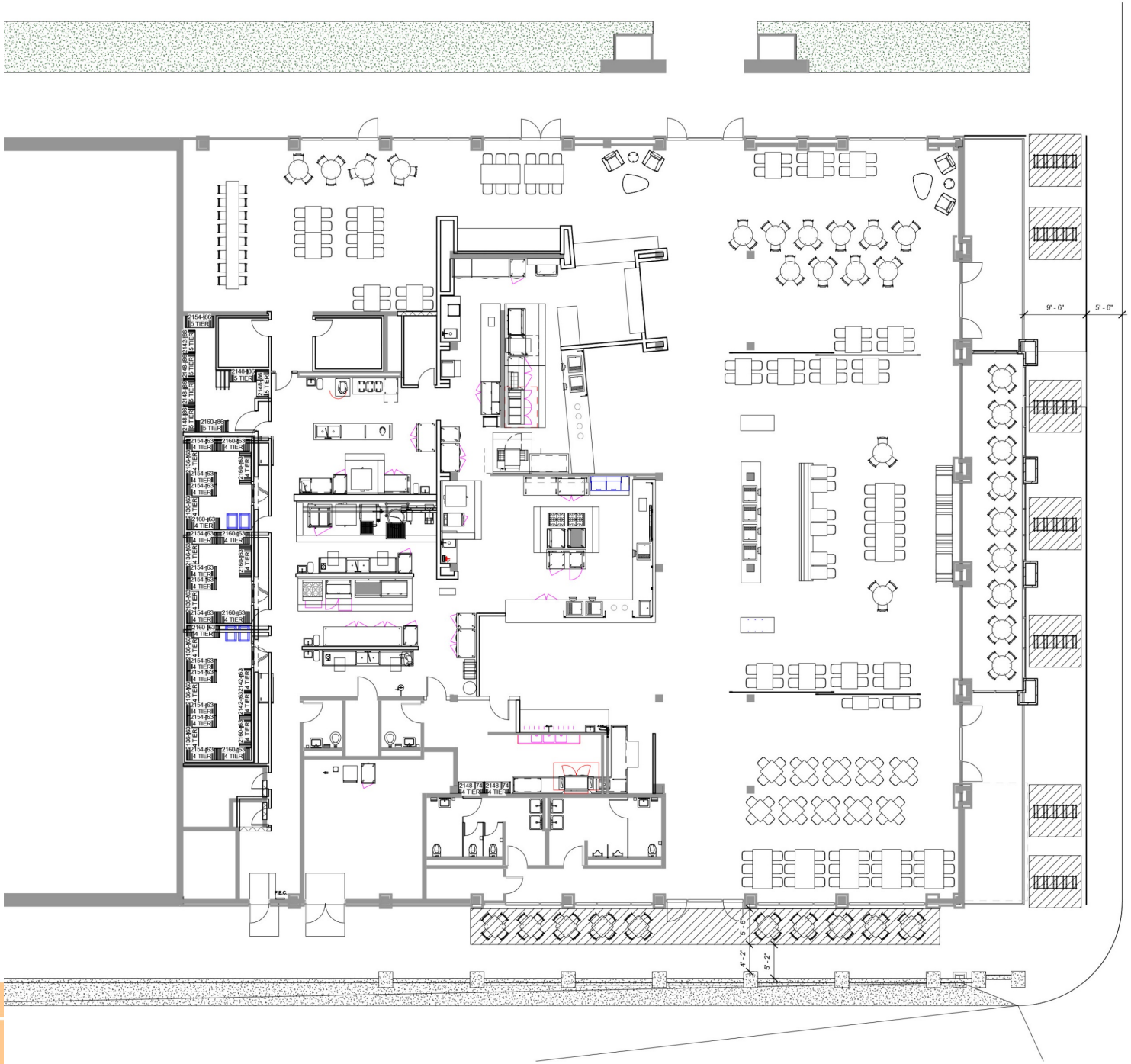
EXISTING SITE



PROPOSED SITE



FLOOR PLAN



PROPOSED SITE

Campus Master Plan Checklist

TO: ULUFPC, LVLC, PHBSC, P&TC **DATE:** 10/20/20 **PROJECT:** UF-668 - Racquet Club Dining - Renovations
Prepared by: Erik Lewis **FROM:** Milo Zapata

This form is to be completed for the applicable phase at the time that the project is reviewed by committees. Do not mark shaded cells in the columns because they do not apply to the review at the specified phase. Checklists should be cumulative so that projects presented at Design Development have all phase columns completed. Design-build projects may omit the Schematic Design phase column. These checklist criteria apply to development on the main campus and, as applicable, on Satellite Properties in Alachua County.

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD: SCHEMATIC DESIGN (☐ Concept ☐ Advanced)			COMBINE FOR DESIGN-BUILD: DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
UNIVERSITY LAND USE AND FACILITIES PLANNING COMMITTEE (ULUFPC)									
1) The project appears in the Capital Improvements Element, Table 13-1 (Ten-Year Capital Projects List) and Figure 13-1 (Future Building Sites) ☐ As presented in the adopted Campus Master Plan ☒ With edits to Table 13-1 to modify the project GSF or description ☐ With edits to Figure 13-1 to modify or assign the project site	X						-	-	-
a) If "no" or with edits: The addition or modification of the project in the CMP can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement	X						-	-	-
2) The project is consistent with the Future Land Use designation and definition *(Figure 2-1, Future Land Use and Policies 1.1.2 and 1.1.8)*	X						-	-	-
a) If "no", the necessary modification to Figure 2-1 (Future Land Use) can be accomplished as a Minor Amendment (per UF Operating Memorandum) and without changing the Campus Development Agreement			X				-	-	-
3) The project location is consistent with policies that direct the location of specific uses (i.e. academic facilities, support/clinical facilities, housing, recreation/open space & parking) *(Academic Facilities, Policy 1.2.3; Support/Clinical, Policies 1.1.3, 1.1.4 and 1.1.6; Housing, Policy 1.3.1; Recreation/Open Space, Policies 1.3.1 and 1.3.3; Transportation Policy 2.5.4 and 2.5.6)*	X						-	-	-
4) ☒ The project is not a temporary building; OR ☐ The temporary building is located in the Surge Area, Energy Park, Physical Plant Division complex, Academic/Research-Outdoor Future Land Use, or the temporary building supports construction activity *(Capital Improvements, Policy 1.1.15)*			X	-	-	-	-	-	-
5) The project considers life-cycle costing, pursues principles of sustainable design and/or seeks LEED certification *(Capital Improvements, Policy 1.1.14)*	X								
6) The building footprint, orientation and setback comply with Policy 1.3.1, Urban Design Element because the project is located with road frontage along Stadium Rd (Gale Lemerand Dr to Buckman Dr), University Ave (Gale Lemerand Dr to SW 13th St), SW 13th St, Center Drive, Museum Rd (west of Center Dr. to SW 13th St), Archer Rd/SW 16th Ave, or Radio Rd; or within new centers of development (i.e. near Orthopaedics & Sports Med, Cultural Plaza, Southwest Recreation, and near Fifield Hall)		X							

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD: SCHEMATIC DESIGN ☐ Concept ☐ Advanced			DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
7) The project is a minimum of 3-stories; OR the project demonstrates unique programmatic, functional or code requirements that dictate a variance from the 3-story minimum; OR the project meets alternate building height and design characteristic requirements based on its location in unique areas of campus for which more specific building design requirements apply (i.e. near Orthopaedic & Sports Med, SW Research Circle/Cancer-Genetics area, Fifield Hall area, Cultural Plaza, Radio Road Commuter Lot area, Archer Road Corridor/Planning Sector "G", Historic Impact Area, PKY Developmental Research School and Eastside Campus) *(Urban Design, Policy 1.3.4 through 1.3.10)*; OR the project meets guidance for building height and design of housing facilities *(Housing, Policy 1.3.2)*			X						
8) The project provides community design integration along campus perimeters as described in Policies 1.2.1 and 1.4.3, Urban Design Element, with respect to landscaping, hardscaping, views, signage, and bicycle/pedestrian accommodation as applicable because the project is located along Gateway Roads identified in Figure 1-6, Urban Design Element (i.e. University Ave, SW 2nd Ave, SW 13th St, Archer Rd, and SW 34th St)	-	-	-						
9) ☐ The project includes exterior public art; - *Note: LVLC and PHBSC (if applicable) approval recommendation required* OR ☐ The project demonstrates that exterior installation of public art is infeasible or undesirable *(Urban Design, Policies 1.6.2, 1.6.3 and 1.6.4)*	-	-	-						
10) Utilities and associated support structures are installed underground or are appropriately screened from view by decorative architectural walls or landscaping *(Electric Power and Other Fuels Sub-Element, Policy 2.1.7 and 2.1.8)*	-	-	-						
PRESERVATION OF HISTORIC BUILDINGS AND SITES COMMITTEE (PHBSC) – Note: see also #9 above									
11) The project meets the requirements of the University's Memorandum of Agreement with the State Division of Historical Resources because ☐ The site is located adjacent to an Archaeological Site or within an Archaeological Sensitivity Zone *(Urban Design, Policy 1.7.1)*: AND/OR ☒ The project is new construction or a building addition located within the Historic District or Historic Impact Area depicted on Figure 1-2, Urban Design Element; AND/OR ☐ The project includes renovation, rehabilitation or restoration of an existing structure that meets the definition of "historic property" described in Policy 1.5.4 of the Facilities Maintenance Element	X								
a) If "yes" for new construction or building additions, the project design is sensitive to the orientation and character defining features of existing structures in the Historic Impact Area *(Urban Design, Policy 1.7.2)*; with a building height between 2 and 5 stories not to exceed the height of existing historically significant buildings in close proximity *(Urban Design, Policy 1.3.7)*			X						

Campus Master Plan Checklist

EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD: SCHEMATIC DESIGN ☐ Concept ☐ Advanced			DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
LAKES, VEGETATION AND LANDSCAPING COMMITTEE (LVLC) – Note: see also #8 above									
12) ☒ The project does not reduce the size of an area in the Conservation Future Land Use (Figure 2-1, Future Land Use); OR ☐ The project mitigates the Conservation Future Land Use change per Conservation, Policy 1.4.11	X								
13) ☒ The project (or any associated utilities or infrastructure) is not adjacent to or within a Conservation Future Land Use; OR ☐ The project siting, orientation and landscaping minimize visual impact on the Conservation Area, preserve native vegetation and allow a graduated transition from developed areas to Conservation Areas *(Conservation Element, 1.1.4)*	X								
14) The project minimizes impacts and conforms to the intent of the Conservation Area because the project is for new utilities or infrastructure (including exterior lighting and stormwater facilities) within a Conservation Future Land Use *(Conservation, Policies 1.4.8, 1.4.9 and 1.4.10) – Note: LVLC approval recommendation required*			X						
15) ☒ The project is not within 50-feet of a wetland; OR ☐ The project within 50-feet of a wetland minimizes impacts to wetlands and the required wetland buffers; and provides a minimum 35-foot setback and average 50-foot setback; and uses only native plants in a naturalistic landscape design within wetland buffers *(Conservation, Policies 1.2.1, 1.2.2, 1.2.3, 1.2.4, and 1.2.5)*	X								
16) ☒ The project is not within the 100-year floodplain; OR ☐ The project within the 100-year floodplain addresses building elevation, compensating storage and off-site mitigation *(Conservation, Policy 1.2.6)*	X								
17) ☒ The project does not disturb any plants or animals identified as threatened and endangered species or species of special concern by federal and state agencies; OR ☐ The project inventories such species and develops protection or relocation plans in coordination with appropriate local, state and federal agencies *(Conservation, Policies 1.3.2 and 1.3.3)*	X								
18) ☒ The project site does not impact an Open Space Connection identified in Figure 1-4, Urban Design Element ; OR ☐ The project maintains, enhances or satisfactorily realigns the open space connection *(Urban Design, Policies 1.2.4 and 1.3.2; and Transportation, Policy 2.2.5)*	X								
19) ☒ The project site is not within or adjacent to an Open Space Enhancement Priority area identified in Figure 1-5, Urban Design Element; OR ☐ The project provides appropriate landscaping, hardscaping, and bicycle/pedestrian open space enhancement for the related Open Space Enhancement Priority area *(Urban Design, Policy 1.4.2)*	X								
20) The project integrates with existing topography and natural features *(Urban Design, Policy 1.3.11)*			X			X			X

Campus Master Plan Checklist

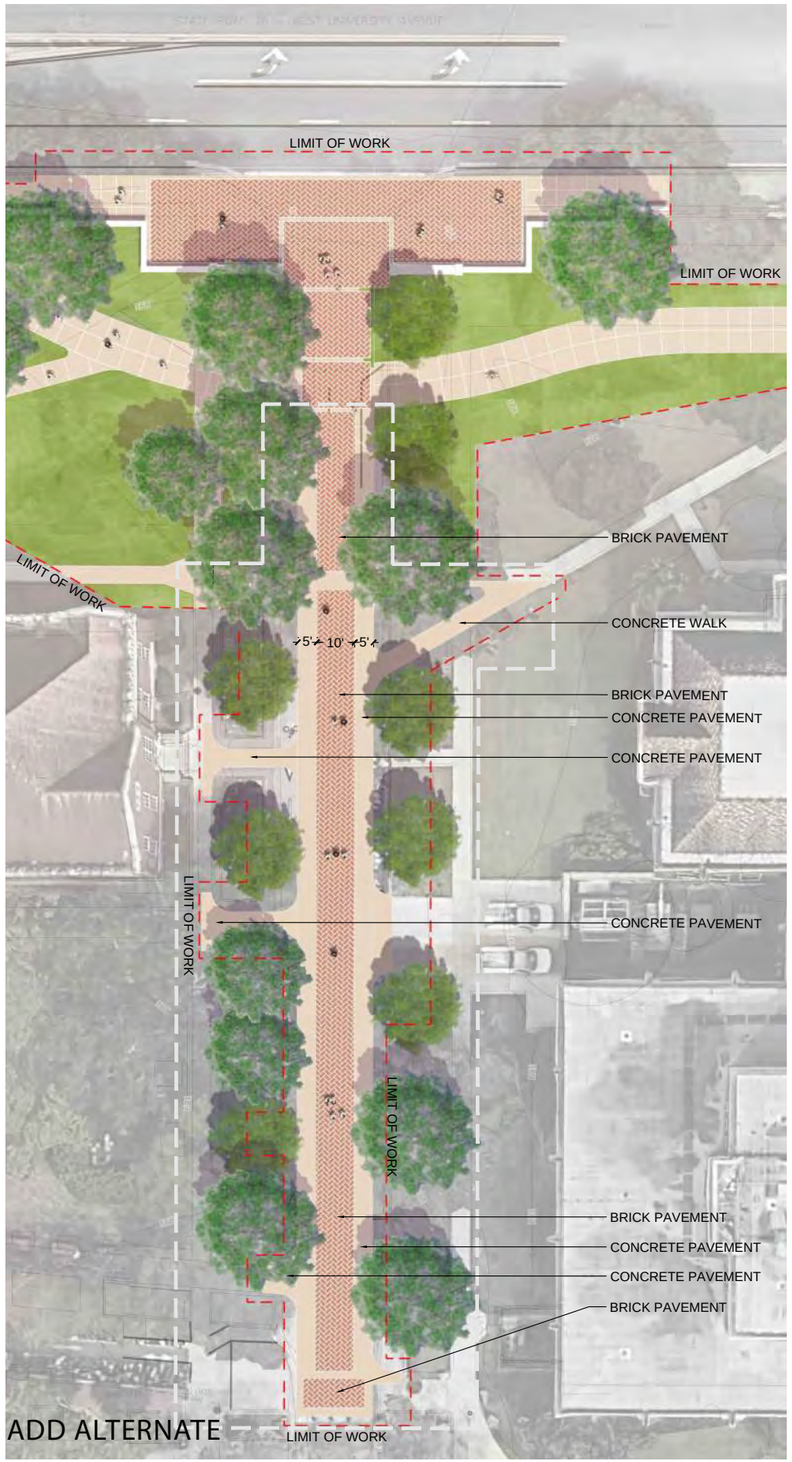
EVALUATION CRITERIA	PROGRAMMING AND SITE SELECTION			COMBINE FOR DESIGN-BUILD: SCHEMATIC DESIGN ☐ Concept ☐ Advanced			DESIGN DEVELOPMENT		
	YES	NO	NA	YES	NO	NA	YES	NO	NA
21) The project identifies any potential adverse affects, accommodates any increase in volume of runoff over the pre-development volume for a 72-hour period from the 100-year storm event, and provides a courtesy review to the City of Gainesville because the project is within the Hogtown Creek drainage basin *(General Infrastructure Stormwater Sub-Element, Policy 1.3.5)*			X			X			X
22) The project use trees, plant materials, exterior furniture, paving materials and walls to reinforce spatial organization and create "outdoor rooms" in functional open space adjacent to buildings, within the Urban Park Future Land Use, and along roadways, pedestrian connections and shared-use paths depicted in Figure 1-4 *(Urban Design, Policies 1.3.3 and 1.4.1)*	-	-	-						
23) Stormwater retention facilities associated with the project (if any) are designed to be natural and curvilinear in outline with variable side slopes, smooth transitions to existing grade and planted with native vegetation *(General Infrastructure Stormwater Sub-Element, Policies 1.2.4 and 1.2.5)*	-	-	-						
24) The project incorporates Best Management Practices and Low Impact Development design to address stormwater quality and quantity including pollutants, erosion and sedimentation *(General Infrastructure Stormwater Sub-Element Policies 1.3.2, 1.3.3, 1.3.4 and 1.4.1)*	-	-	-						
25) The project satisfies UF Design & Construction Standards for tree protection, removal, relocation and mitigation *(Urban Design, Policies 1.4.9, 1.4.10 and 1.4.12) – Note: LVLC approval recommendation required*	-	-	-						
26) The project satisfies UF Design & Construction Standards for landscaping in parking lots and around buildings, and installation is concurrent with the appropriate building construction phase *(Urban Design, Policies 1.4.13, 1.4.14 and 1.4.15) – Note: LVLC approval recommendation required*	-	-	-						
PARKING AND TRANSPORTATION COMMITTEE (P&TC) – Note: see also #18 and #19 above									
27) The project provides a traffic engineering study with a courtesy review by UF's host local governments because the project includes a parking structure or surface with at least 300 parking spaces located in Alachua County *(Transportation, Policy 1.2.2 and 1.2.3)*			X						
28) ☒ The project does not result in any significant loss of existing parking; OR ☐ The loss of significant existing parking is mitigated - Note: Parking loss mitigation to be negotiated in consultation with the P&TC *(Transportation, Policy 2.6.5)*	X								
29) The project satisfies UF Design & Construction Standards for bicycle parking including quantity, location and lighting with covering as feasible *(Transportation, Policy 2.2.6)*	-	-	-						
30) ☐ The project provides hot water showers and lockers for use by bicycle commuters; OR ☐ The project demonstrates that hot water showers and lockers are infeasible *(Transportation, Policy 2.2.13)*	-	-	-						
31) The project provides adequate parking to meet the needs of disabled persons, service and delivery vehicles necessitated by the building construction project *(Transportation, Policy 2.6.5)*	-	-	-						

NEWELL
GATEWAY

NORTHEAST CAMPUS
GATEWAY

UNIVERSITY OF FLORIDA

UF - 656
LANDSCAPE MASTER PLAN IMPLEMENTATION



ADD ALTERNATE

BASE BID

NEWELL GATEWAY

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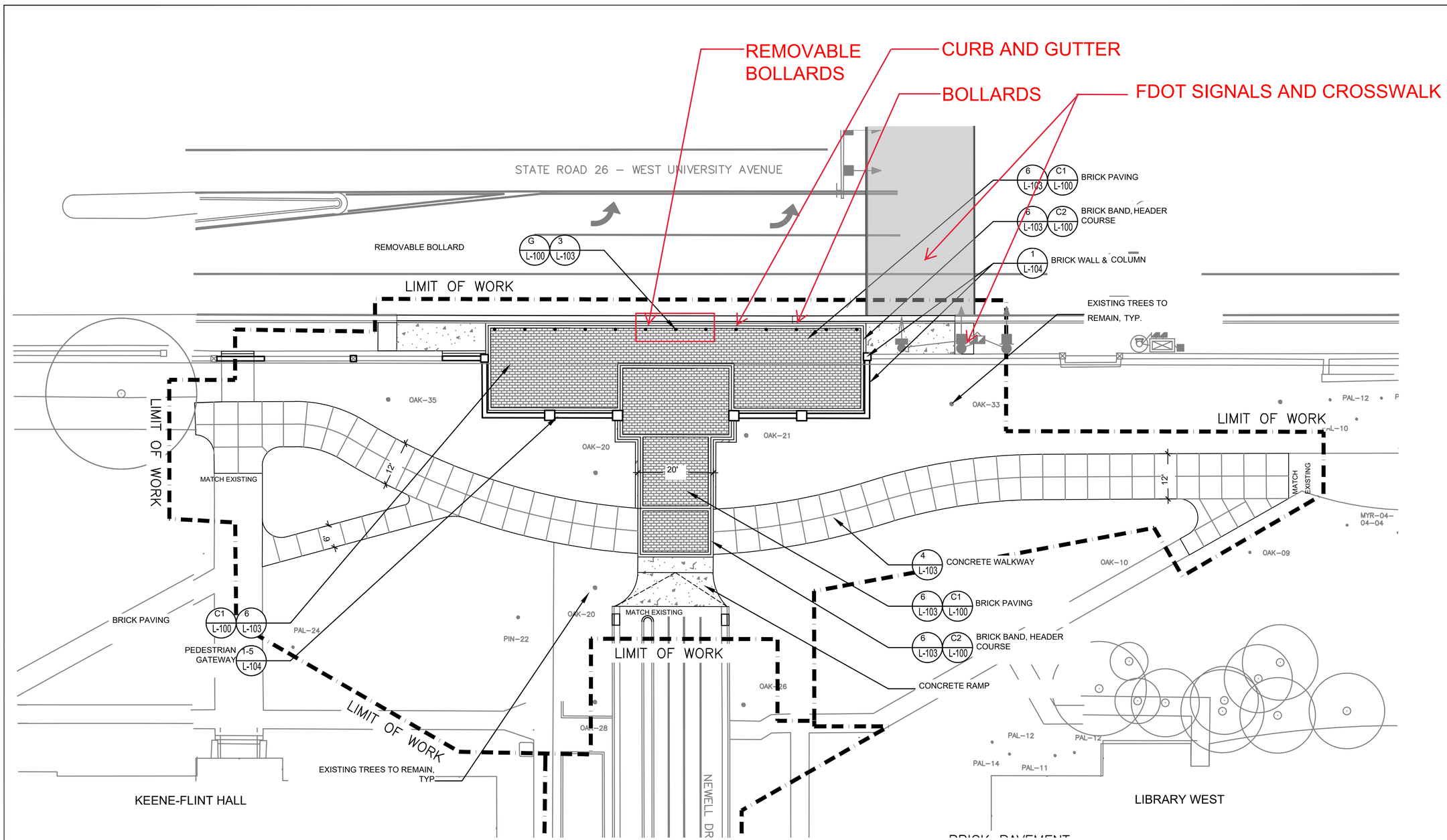

COMMUNITY SOLUTIONS GROUP

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CERTIFICATE OF AUTHORIZATION: EB9951

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PROJECT

UNIVERSITY OF FLORIDA

LANDSCAPE MASTER PLAN IMPLEMENTATION

UF656

GAINESVILLE, FL

DESIGN DEVELOPMENT

CONSULTANTS

REGISTRATION

REVISIONS:

PROJECT NUMBER	R200265.00
SCALE:	
DATE:	01/06/2021
DRAWN:	AP
CHECKED:	FB
APPROVED:	

SCALE & NORTH ARROW

N TRUE NORTH

SHEET TITLE

NEWELL GATEWAY HARDSCAPE PLAN

SHEET NUMBER

L-100

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NEWELL GATEWAY PERSPECTIVE

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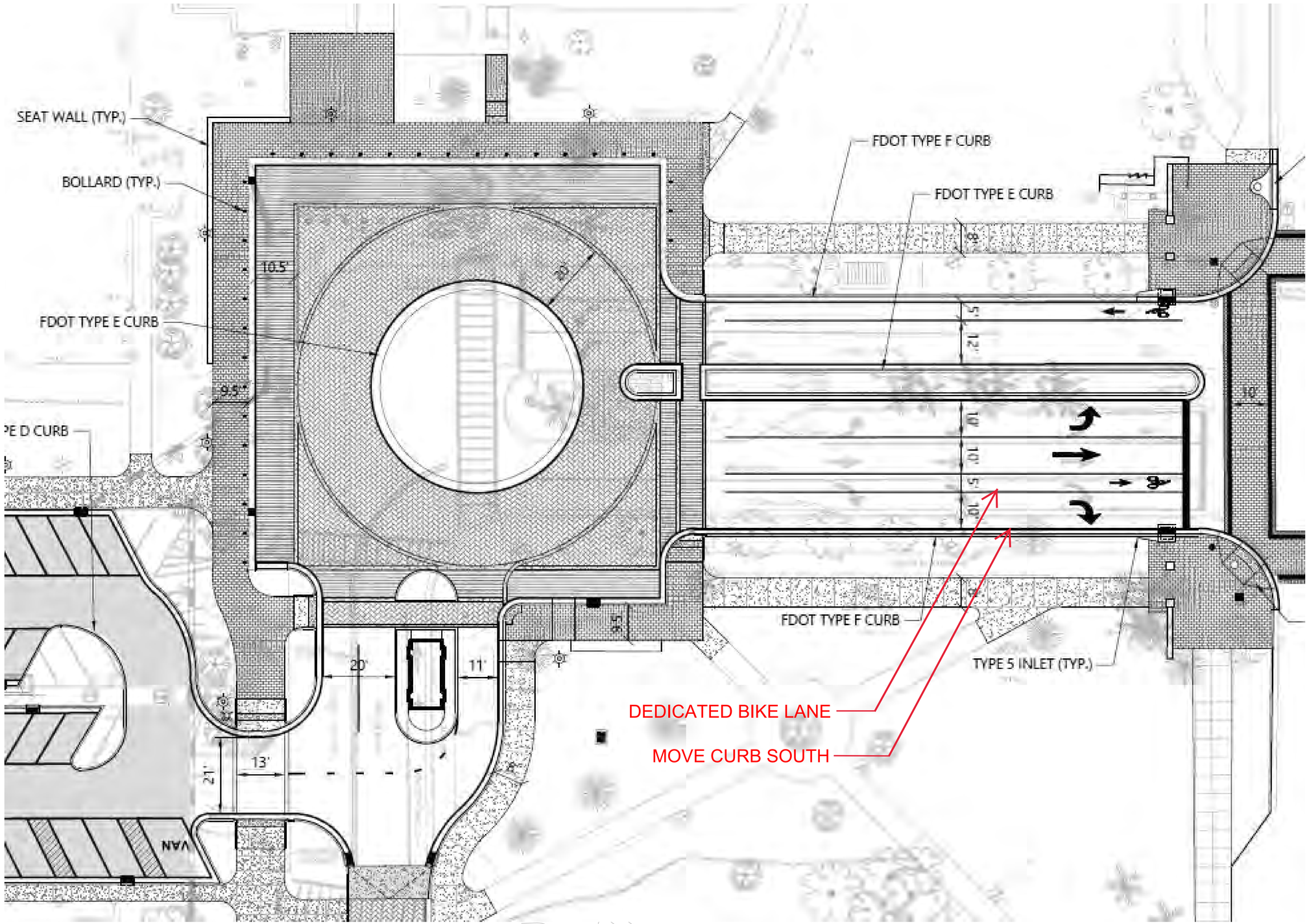
NORTHEAST GATEWAY



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CERTIFICATE OF AUTHORIZATION: EB9951

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PROJECT

UNIVERSITY OF FLORIDA

LANDSCAPE MASTER PLAN IMPLEMENTATION

UF656

GAINESVILLE, FL

DESIGN DEVELOPMENT

CONSULTANTS

vhb
225 E. Robinson Street, Suite 300
Orlando, Florida 32801 | 407.839.4006

REGISTRATION

REVISIONS:

PROJECT NUMBER	R200265.00
SCALE:	
DATE:	01/06/2021
DRAWN:	SCS
CHECKED:	JLI
APPROVED:	

SCALE & NORTH ARROW

SHEET TITLE

NORTHEAST GATEWAY REVISED ENTRANCE

SHEET NUMBER

C-410

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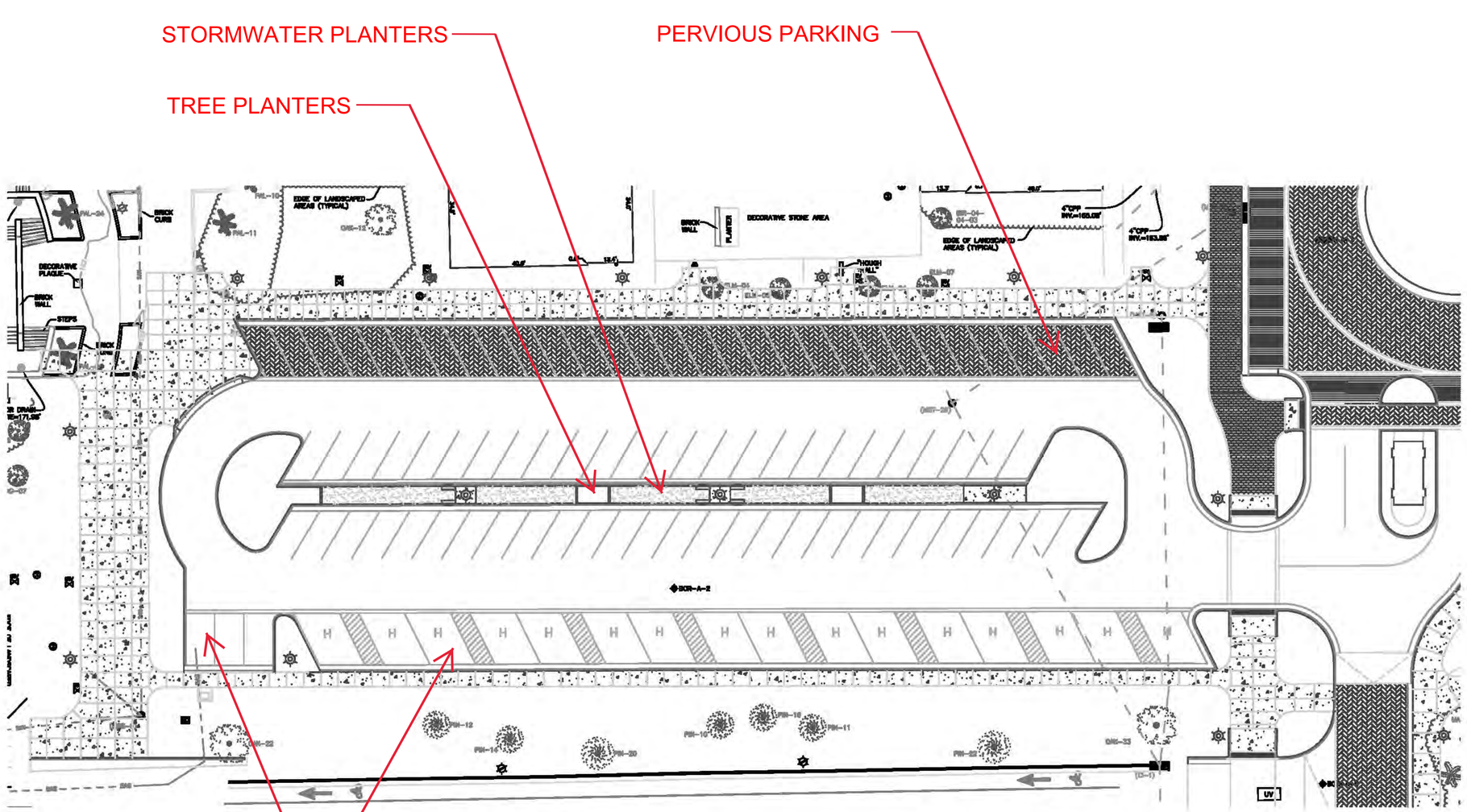
NORTHEAST GATEWAY - ENTRANCE

NORTHEAST GATEWAY - AUTOCOURT

NORTHEAST GATEWAY *PERSPECTIVES*



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DESIGN DEVELOPMENT

CONSULTANTS

REGISTRATION

REVISIONS:

PROJECT NUMBER R200265.00

SCALE:

DATE: 01/06/2021

DRAWN: AP

CHECKED: FB

APPROVED:

SCALE & NORTH ARROW

N
TRUE NORTH

SHEET TITLE

CRISER PARKING LAYOUT PLAN

SHEET NUMBER

L-101

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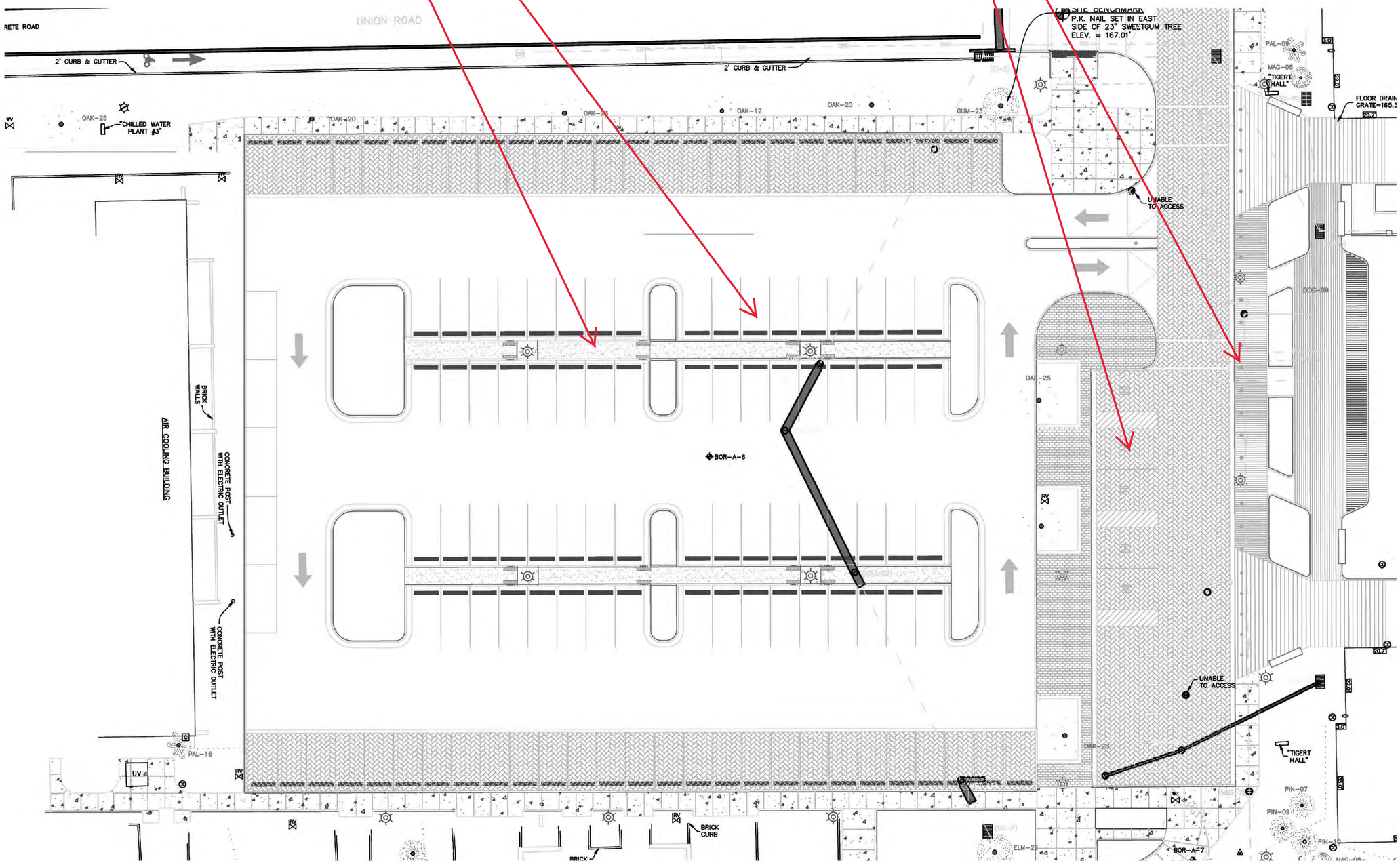
PERVIOUS PAVERS REMOVED

STORMWATER PLANTERS

BOLLARDS ADDED

HANDICAP PARKING RELOCATED



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CONSULTANTS

REGISTRATION

REVISIONS:

PROJECT NUMBER R200265.00

SCALE:

DATE: 01/06/2021

DRAWN: AP

CHECKED: FB

APPROVED:

SCALE & NORTH ARROW

N
TRUE NORTH

SHEET TITLE

LITTLE PARKING LAYOUT PLAN

SHEET NUMBER

L-101

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Z:\2020\R200265.00 - UF LMP IMPLEMENTATION\CAD\PRODUCTION DRAWINGS\L - 100 HARDSCAPE.DWG
This drawing was produced with computer aided drafting technology and is supported by electronic drawing files. Do not revise this drawing via manual drafting methods.

NORTHEAST GATEWAY - GATHERING SPACE AT TIGERT HALL

NORTHEAST GATEWAY PERSPECTIVES

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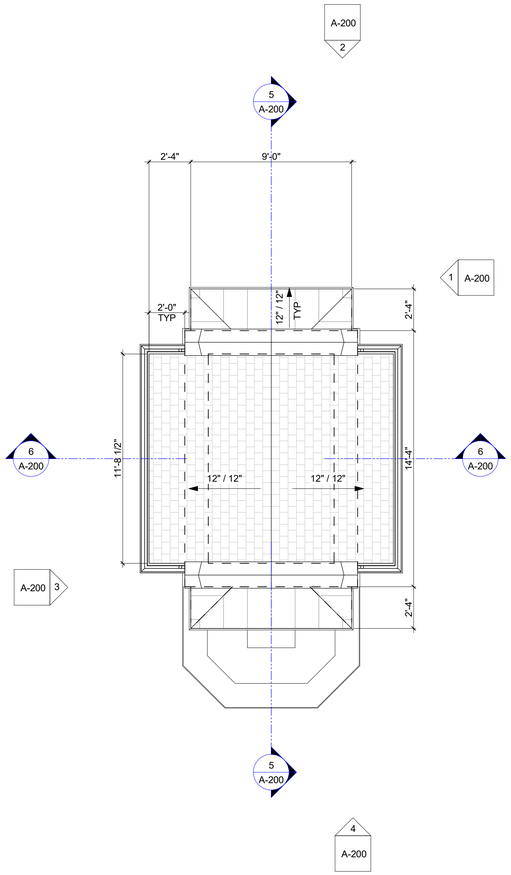

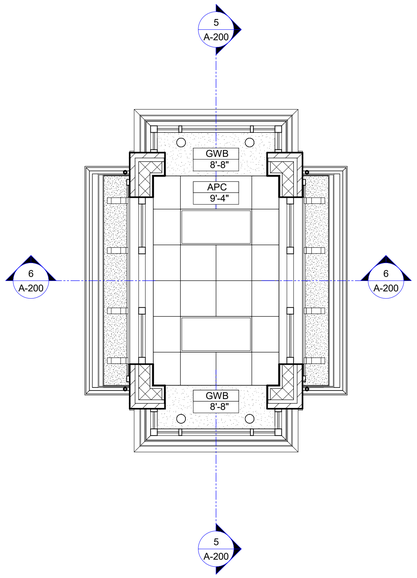

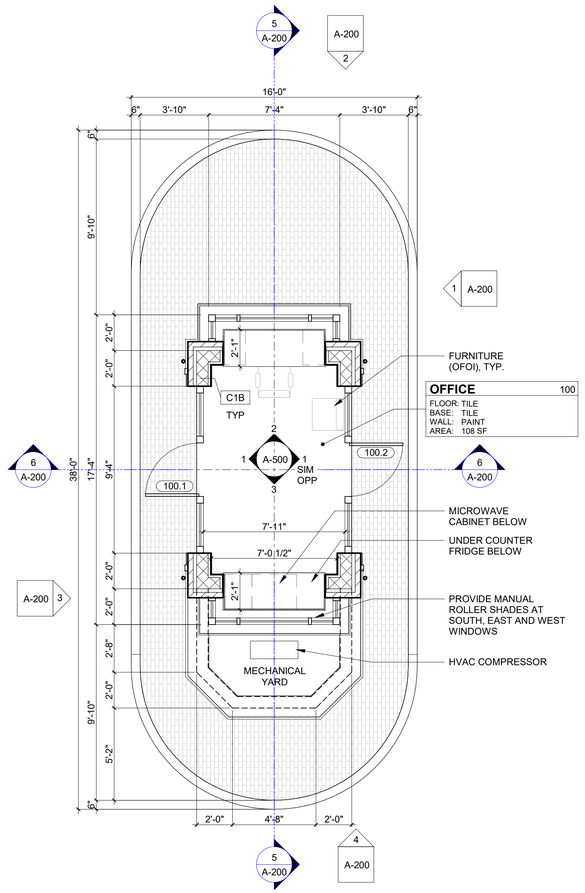

3 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN SHEET NOTES

1. XXXXXXX

KEYNOTE LEGEND

2 CEILING PLAN
1/4" = 1'-0"

CEILING PLAN SHEET NOTES

1. CEILING ELEMENTS (LIGHTS, GRILLS, ETC...) SHOWN FOR LOCATION AND COORDINATION.
2. COORDINATE LOCATION, SIZE, AND REQUIREMENTS OF CEILING ELEMENTS WITH M/E/P/F DOCUMENTS.
3. SUSPENDED TILE CEILING GRIDS SHALL BE SET WITH EITHER A FULL TILE OR A GRID INTERSECTION OCCURRING AT THE CENTER OF THE CEILING EXPANSE SO AS TO ACHIEVE TILES OF EQUAL WIDTH AT OPPOSING SIDES OF THE CEILING. NO CEILING GRID CONFIGURATION SHALL RESULT IN A TILE AT ANY PERIMETER EDGE OF LESS THAN 4 INCHES IN WIDTH.
4. IMMEDIATELY BRING DISCREPANCIES TO THE ARCHITECT'S ATTENTION.
5. IN ACOUSTICAL PANEL CEILINGS, CENTER CEILING ELEMENTS IN PANELS.
6. IN GYPSUM WALL BOARD CEILINGS ALIGN CEILING ELEMENTS WITH ADJACENT CEILING ELEMENTS.
7. PROVIDE ACCESS PANELS IN NON-ACCESSIBLE CEILINGS (SUCH AS GYPSUM BOARD) WHERE REQUIRED FOR ACCESS TO SERVICEABLE MECHANICAL, ELECTRICAL, OR PLUMBING DEVICES. PROVIDE COORDINATED ACCESS PANEL LOCATION SHOP DRAWING FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.

CEILING LEGEND

CEILING TAG — APC-1 (CEILING FINISH) / 9'-0" (HEIGHT AFF)

RECESSED DOWNLIGHTS

2'x2' CEILING GRID

1'x4', 2'x4' & 2'x2' RECESSED LIGHT FIXTURE

GWB CEILING

HVAC TERMINALS — SUPPLY, RETURN, EXHAUST

1 FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

1. SEE WALL SECTIONS FOR EXTERIOR WALL ASSEMBLY INFORMATION.
2. PROVIDE IN WALL BACKING FOR WALL MOUNTED ITEMS.
3. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
   A. CENTERLINE - CENTER OF PARTITION ALIGNS WITH A STRUCTURAL GRIDLINE OR OBJECT CENTERLINE (SUCH AS WINDOW MULLION OR COLUMN).
   B. ALIGN - LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD OR OTHER SURFACE INDICATED.
   C. MAINTAIN DIMENSIONS NOTED AS "MINIMUM" OR "CLEAR"
4. PROVIDE MINIMUM 1'-0" CLEAR AT PUSH SIDES OF DOORS AND 1'-6" CLEAR AT PULL SIDES OF DOORS UNLESS INDICATED OTHERWISE.

FINISHES NOTES

1. AREAS SHOWN IN ROOM IDENTIFICATION TAGS ARE FOR REFERENCE ONLY. DO NOT USE THESE AREAS FOR TAKE-OFFS.
2. PAINT ALL WALL SURFACES, SOFFITS, AND CEILINGS UNLESS OTHERWISE INDICATED.
3. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS OTHERWISE INDICATED.

FINISH ABBREVIATIONS AND CODES

CODE	FINISH
APC	ACOUSTIC PANEL CEILING
CPT	CARPET TILE
P	PAINT
L	HIGH PRESSURE LAMINATE
RB	RESILIENT BASE
RF	RESILIENT FLOORING
SCONC	SEALED CONCRETE
SSM	SOLID SURFACE MATERIAL
T	TILE
WD	WOOD
WS	WINDOW SHADE

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PROJECT

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LANDSCAPE MASTER PLAN IMPLEMENTATION

UF656

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AA26002009

REGISTRATION

JOSEPH B. WALKER, AIA
LICENSE NO.: AR0017272

REVISIONS:

Description	00--00--00

PROJECT NUMBER R200265.00
SCALE: REFER TO DRAWINGS
DATE: 01/05/2021
DRAWN: JMO
CHECKED: AR
APPROVED:

NORTH ARROW

N

SHEET TITLE

FLOOR, CEILING & ROOF PLANS

SHEET NUMBER

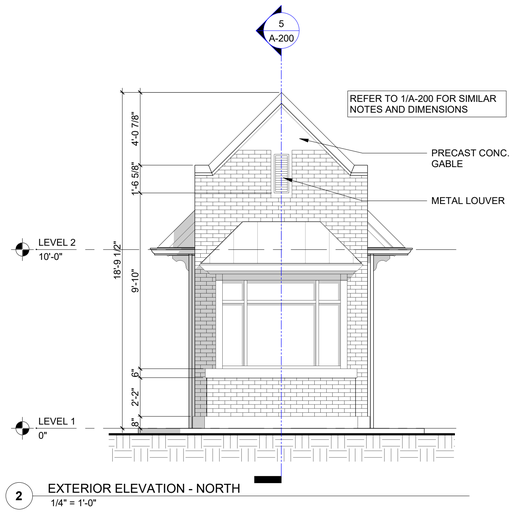
A-100

EXTERIOR ELEVATION SHEET NOTES

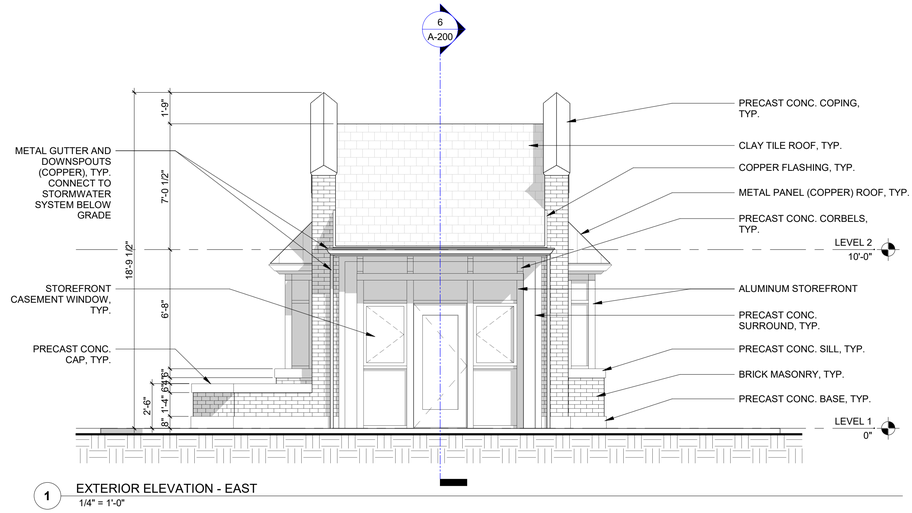
1. XXXXXXXXX

KEYNOTE LEGEND

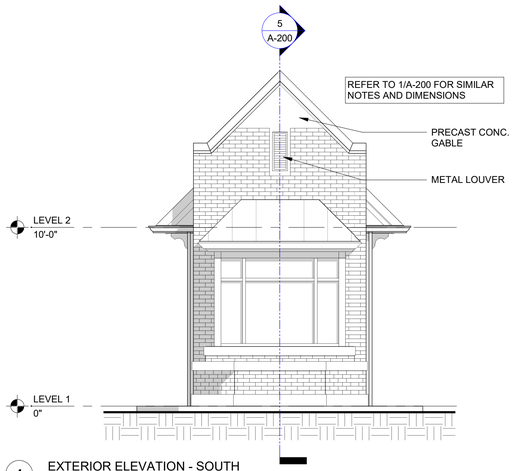
7 AXO



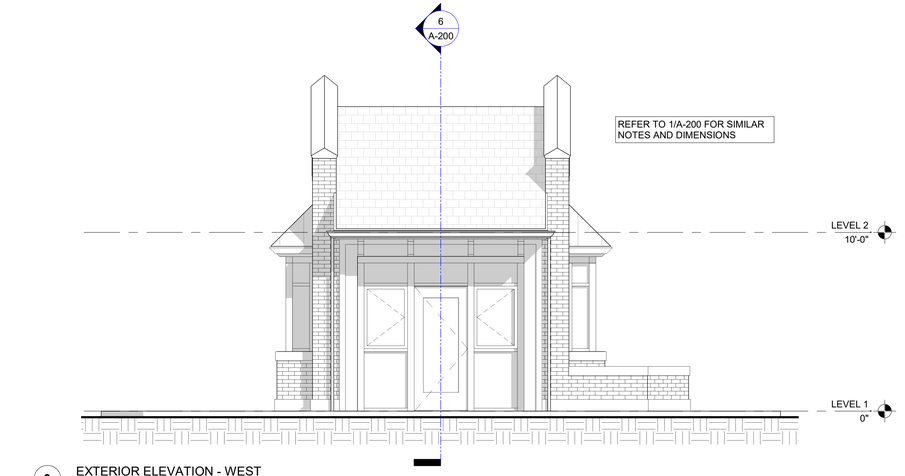
2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



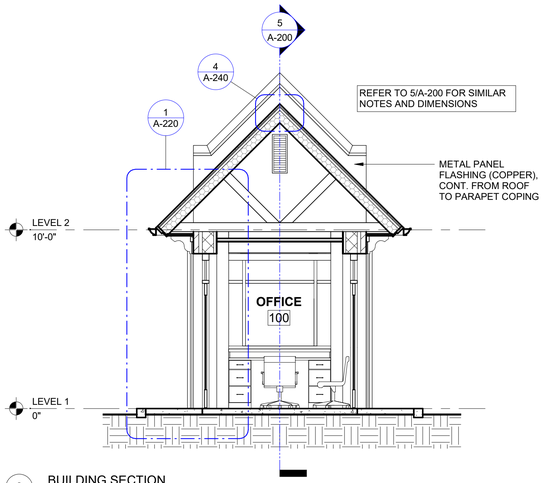
1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



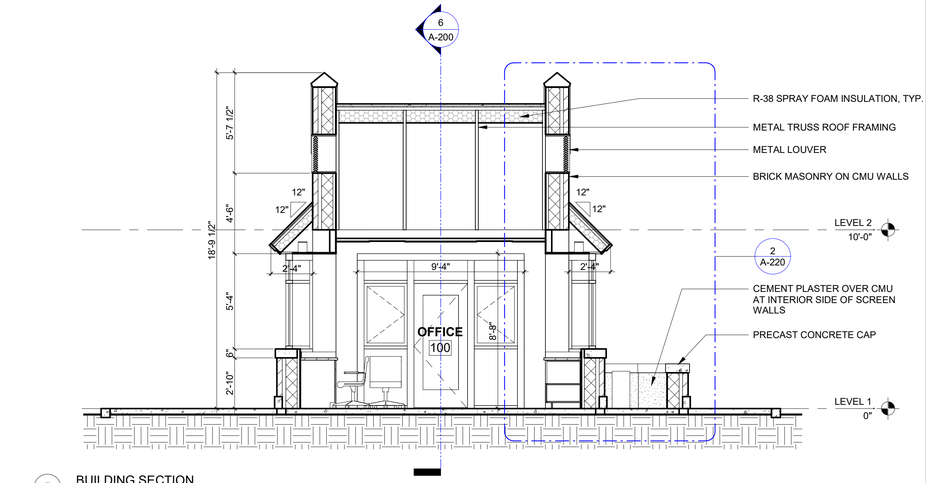
4 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



6 BUILDING SECTION
1/4" = 1'-0"



5 BUILDING SECTION
1/4" = 1'-0"

COMMUNITY SOLUTIONS GROUP

618 E. SOUTH STREET
SUITE 700
ORLANDO, FL 32801
407 423-8398

CERTIFICATE OF AUTHORIZATION: EB9951

UF UNIVERSITY of FLORIDA

PROJECT

UNIVERSITY OF FLORIDA

LANDSCAPE MASTER PLAN IMPLEMENTATION

UF656

GAINESVILLE, FL

DESIGN DEVELOPMENT

CONSULTANTS

Walker Architects

2035 NW 13TH STREET
GAINESVILLE, FL 32609
T: 352.672.6448
www.walker-arch.com
AA26002009

REGISTRATION

JOSEPH B. WALKER, AIA
LICENSE NO.: AR0017272

REVISIONS:

Description	00-00-00

PROJECT NUMBER R200265.00
SCALE: REFER TO DRAWINGS
DATE: 01/06/2021
DRAWN: JMO
CHECKED: AR
APPROVED:

NORTH ARROW

N

SHEET TITLE

EXTERIOR ELEVATIONS & BUILDING SECTIONS

SHEET NUMBER

A-200

NORTHEAST GATEWAY - GUARDHOUSE

MP03484
Sigma Alpha Epsilon Weight Room Addition

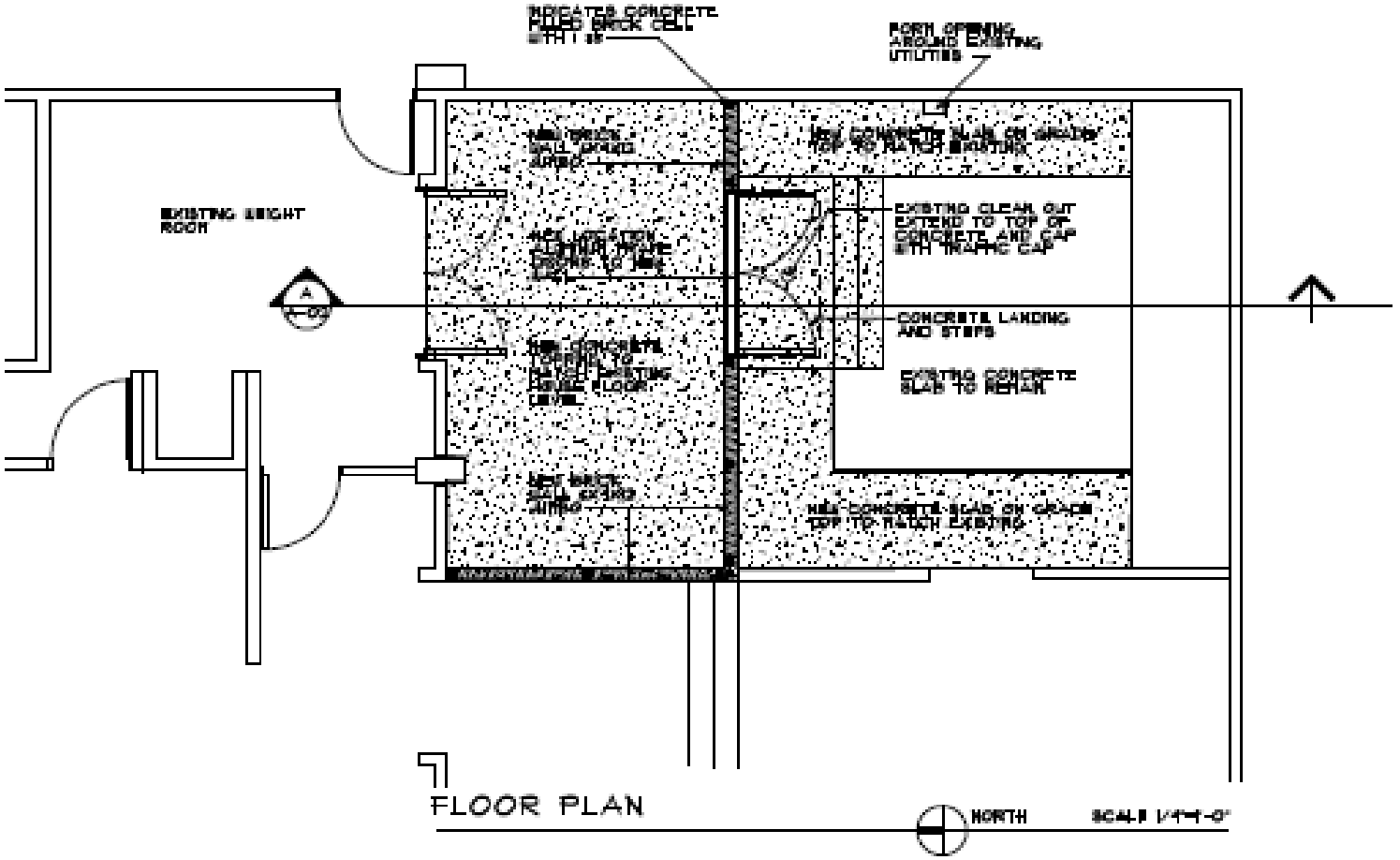
The Rickman Partnership, Inc.
February 2021

Existing Conditions

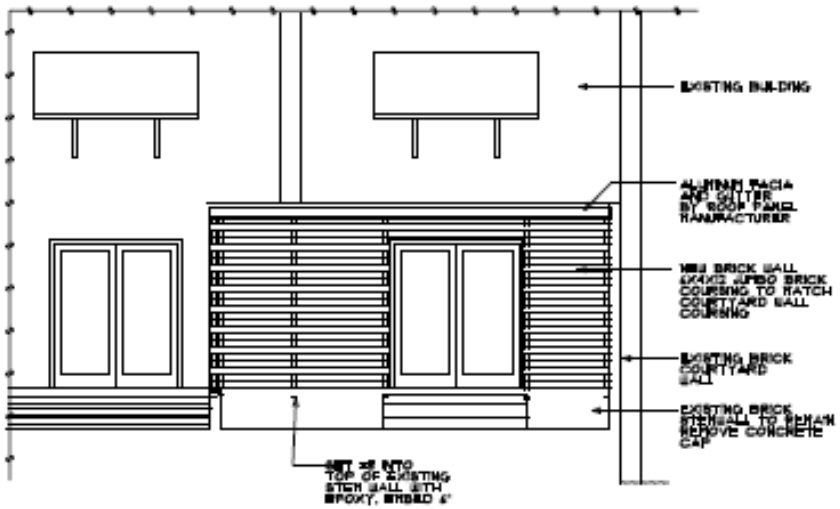
Existing Conditions

Existing Conditions

Proposed Plan

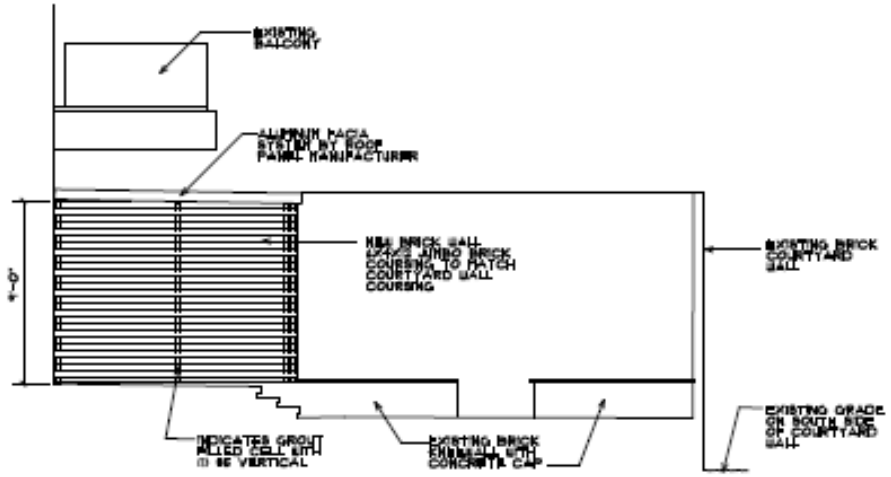


Proposed Elevations



SOUTH ELEVATION

SCALE 1/4"=1'-0"



WEST ELEVATION

SCALE 1/4"=1'-0"

EXISTING TREE RATING CRITERIA

No.	Ranking	Description
5	Good	Excellent specimen with even and lush canopy; no visible external injuries; no root circling/injury
4	Average	Overall and consistently full canopy; few if any minor external injuries or root issues
3	Fair	Uneven or partially impacted canopy; minor injuries; minor root circling/injury
2	Poor	Canopy not thriving or partially dead; numerous epiphytes or evidence of parasitic plants; injuries
1	Very Poor	Mostly dead; major injury; root circling

Tree No.	Scientific Name	Common Name	DBH	Rating	Remove	Remain	Mitigation	Replacement Trees	Notes
231	*Sabal palmetto*	Sabal Palm	16	4	X		2:1	2	
~~232~~	~~*Sabal palmetto*~~	~~Sabal Palm~~	~~21~~	~~4~~	~~X~~		~~2:1~~	~~2~~	To Remain
~~233~~	~~*Pinus taeda*~~	~~Loblolly Pine~~	~~17.5~~	~~3~~	~~X~~		~~2:1~~	~~2~~	To Remain
~~234~~	~~*Sabal palmetto*~~	~~Sabal Palm~~	~~17~~	~~3~~	~~X~~		~~2:1~~	~~2~~	To Remain
236	*Ilex x attenuata 'East Palakta'*	East Palatka Holly	10	3	X		2:1	2	
237	*Ilex x attenuata 'East Palakta'*	East Palatka Holly	7	3	X		2:1	2	
238	*Ilex x attenuata 'East Palakta'*	East Palatka Holly	9	3	X		2:1	2	
256	*Pinus taeda*	Loblolly Pine	20	4	X		2:1	2	
257	*Quercus virginiana*	Live Oak	10	3	X		2:1	2	
258	*Quercus virginiana*	Live Oak	9	3	X		2:1	2	
259	*Quercus virginiana*	Live Oak	11	3	X		2:1	2	
260	*Quercus virginiana*	Live Oak	10	3	X		2:1	2	
261	*Quercus virginiana*	Live Oak	10	3	X		2:1	2	
262	*Quercus virginiana*	Live Oak	11	3	X		2:1	2	
263	*Pinus taeda*	Loblolly Pine	16	4	X		2:1	2	
266	*Pinus taeda*	Loblolly Pine	16	3	X		2:1	2	
							TIGERT GATEWAY TOTAL MITIGATION:	145 ~~175~~ **replacement trees**	